

VACAVILLE CLASSROOM BUILDING (ANNEX) CORBEL REPAIR PROJECT (PHASE II)

SOLANO COMMUNITY COLLEGE DISTRICT

2000 NORTH VILLAGE PARKWAY, VACAVILLE, CA 95688

OWNER:
Solano Community College District
2000 North Village Parkway
Vacaville, CA 95688

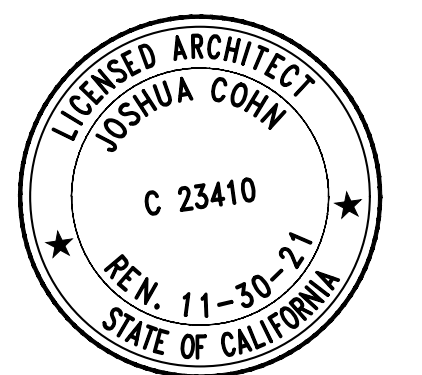
GENERAL NOTES	GENERAL CONDITIONS	PROJECT SCOPE	INDEX	PROJECT DIRECTORY			
<p>1. CONTRACT DOCUMENTS ARE COMPLEMENTARY. THE CONTRACTOR SHALL, BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS CONTRACT DOCUMENTS RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS THE INFORMATION FURNISHED BY THE OWNER, SHALL TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK, AND SHALL OBSERVE ANY CONDITIONS AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING COORDINATION AND CONSTRUCTION BY THE CONTRACTOR AND ARE NOT FOR THE PURPOSE OF DISCOVERING ERRORS, OMISSIONS, OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS; HOWEVER, THE CONTRACTOR SHALL PROMPTLY REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED BY OR MADE KNOWN TO THE CONTRACTOR AS A REQUEST FOR INFORMATION IN SUCH FORM AS THE ARCHITECT MAY REQUIRE.</p> <p>2. DEMO, CUTTING AND PATCHING SHALL BE PERFORMED AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION THROUGHOUT SHOWN AND SHALL MEET THE STANDARD OF CARE FOR EACH OF THE DISCIPLINES REQUIRED TO PERFORM THE WORK.</p> <p>3. UNOBSTRUCTED ACCESS TO EXISTING EXITS AND ANY EMERGENCY LIGHTING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE WORK OF THE PROJECT.</p> <p>4. THESE DOCUMENTS ARE TO REFLECT GENERAL INTENT OF THE ARCHITECTURAL SCOPE OF WORK. THE INFORMATION SHOWN IN THESE DOCUMENTS SHOW PURPOSE AND INTENT AND ARE NOT COMPLETE IN EVERY DETAIL. THE CONTRACTOR SHALL COMPLY WITH THEIR INTENT AND MEANING, TAKEN AS A WHOLE, AND SHALL NOT AVAIL ITSELF OF ANY MANIFEST ERROR, OMISSION, AND DISCREPANCY OF AMBIGUITY WHICH APPEAR IN THE DOCUMENTS.</p> <p>5. CONTRACTOR SHALL ENGAGE USA TO VERIFY AND LOCATE ALL (E) UTILITIES WITHIN AREA OF SCOPE OF WORK PRIOR TO COMMENCEMENT OF DEMO WORK.</p> <p>6. AREAS SHOWN FOR DEMOLITION OF (E) PLASTER ARE DIAGRAMMATIC AND INTENDED TO ASSIST IN DETERMINING SCOPE AND SHOULD BE USED AS A MIN. AREA. ACTUAL AREA MAY VARY AND SHOULD BE ACCOUNTED FOR DURING INSPECTIONS.</p>	<p>1. GENERAL CONDITIONS: THE GC SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, TOOLS, UTILITIES, INSURANCE, TRANSPORTATION, AND PAY FOR ALL REQUIRED TAXES, PERMITS, AND SERVICES REQUIRED TO COMPLETE THE ENTIRE SCOPE OF WORK, WHETHER TEMPORARY OR PERMANENT. ALL MATERIALS EXCEPT TEMPORARY FORMS ARE TO BE NEW, UNUSED AND OF THE SPECIFIED QUALITY. THE GC SHALL MAINTAIN THE PROJECT SITE IN A CLEAN AND ORDERLY FASHION. TOOLS AND EQUIPMENT SHALL BE SECURED, AND ALL DEBRIS SHALL BE REMOVED DAILY. THE GC SHALL BECOME FAMILIAR WITH THE REQUIREMENTS FOR THE BUILDING INCLUDING MAINTAINING A CLEAR PATH OF TRAVEL FOR BOTH EGRESS AND ACCESS, FREE OF EQUIPMENT, MATERIALS, DEBRIS, ETC. DURING CONSTRUCTION. THE GC WILL STAGE THE WORK ACCORDINGLY AND WILL COORDINATE WITH THE DISTRICT PRIOR TO CONSTRUCTION AND WILL HAVE ALLOWED FOR THIS AS PART OF THEIR BID. THE GC WILL SECURE PROJECT SITE FROM UNAUTHORIZED ENTRY AT ALL TIMES. COORDINATE LOCATION OF BARRICADES OR TEMPORARY FENCING WITH THE DOCUMENTS AND OWNER. THE GC SHALL PHOTOGRAPH THE PROJECT SITE AND EXISTING CONDITIONS PRIOR TO THE BEGINNING OF THE WORK. PHOTOGRAPHS SHALL BE TAKEN OF THE PROGRESS OF THE WORK AT INTERVALS NO GREATER THAN 7 CALENDAR DAYS. PHOTOGRAPHS SHALL BE IN COLOR AND IDENTIFIED BY DATE AND TIME OF DAY. MAINTAIN DIGITAL PHOTOGRAPH FILE ON SITE. DELIVER COMPLETED FILE TO THE ARCHITECT UPON RECEIPT OF USE AND OCCUPANCY PERMIT. THE GC SHALL MAINTAIN AN ON SITE STAGING AREA AND SHALL KEEP AT LEAST ONE SET OF REPRODUCIBLE CONSTRUCTION DOCUMENTS, TO BE MARKED CONCURRENTLY WITH THE CONSTRUCTION, TO RECORD ACTUAL CONDITIONS OF THE CONSTRUCTION AND THE REPAIRS. THESE WILL BE DELIVERED AS A COMPLETED REPRODUCIBLE RECORD SET TO THE ARCHITECT UPON COMPLETION OF THE PROJECT. GC TO REMOVE AND DISPOSE OF ALL WASTE AND DEBRIS FROM PROJECT SITE IN A LEGAL MANNER. UPON COMPLETION OF THE WORK, THE GC WILL PROVIDE PROFESSIONAL CLEANING SERVICE TO CLEAN THE PROJECT SITE AND EXTERIOR, PARTICULARLY THE ROOFS, AND GUTTERS. DURING CONSTRUCTION ALL OF THE GUTTERS SHALL BE TEMPORARILY COVERED TO NOT ALLOW ANY DEBRIS OR MATERIAL TO GO DOWN THEM. THESE WILL BE CLEANED WEEKLY AND CLEANED COMPLETELY UPON COMPLETION OF THE PROJECT.</p> <p>2. INTERPRETATION: THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.</p> <p>3. DOCUMENT DISCREPANCIES: WHENEVER THERE ARE DISCREPANCIES IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BASE HIS BID UPON THE BETTER QUALITY OR GREATER QUANTITY OF THE MATERIAL OR WORK DESCRIBED.</p> <p>4. DRAWING SCALE: THE CONTRACTOR SHALL NOT SCALE DRAWINGS.</p> <p>5. FIELD CONDITIONS: THE CONTRACTOR SHALL PERSONALLY REVIEW THE EXISTING ON-SITE CONDITIONS INCLUDING ALL ROOFS, PARAPETS, GUTTERS, FLASHING, TRIM, CORBELS, DOWNSPOUTS AND INCLUDE, AS PART OF THE BID, A MEANS AND METHODS APPROACH THAT WILL NOT DAMAGE ANY OF THE EXISTING CONDITIONS, INCLUDING ANY DAMAGE TO THE EXISTING METAL ROOF AND ITS COMPONENTS. THE GC SHALL EXAMINE AND BECOME FAMILIAR WITH THE DOCUMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE. NO ALLOWANCE WILL BE MADE ON BEHALF OF THE CONTRACTOR OR SUBCONTRACTORS FOR FAILURE TO FIRST VISIT THE SITE PRIOR TO BID.</p> <p>6. CONSTRUCTION MEANS & PROCEDURES: THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. ANY WORK THAT MUST BE REMOVED OR RELOCATED DUE TO LACK OF COORDINATION OF THE TRADES IS SOLELY THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL MAINTAIN A SECURE SITE THROUGHOUT THE CONSTRUCTION PROCESS.</p> <p>7. BUILDING SYSTEMS: THE GC SHALL COORDINATE THE LOCATION AND INSTALLATION OF ALL BUILDING SYSTEMS AND EQUIPMENT. THE GC SHALL COORDINATE ALL BUILDING TRADES TO ASSURE ALL REQUIRED CLEARANCES FOR OPERATION AND MAINTENANCE OF ALL EQUIPMENT AND SYSTEMS AS REQUIRED BY CODE, THESE DOCUMENTS, OR MANUFACTURER'S RECOMMENDATIONS ARE MET OR EXCEEDED. LACK OF SPECIFIC DETAILS SHALL NOT BE AN EXCUSE FOR IMPROPER INSTALLATION OF ANY MATERIAL, DEVICE, OR SYSTEM, WHERE DETAILS ARE NOT PROVIDED, THE GC SHALL REFER TO THE PRINTED MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION GUIDELINES, PROCEDURES, METHODS, REQUIREMENTS, ETC.</p> <p>8. GOVERNING AGENCIES: THE GC AND ALL OF HIS FORCES SHALL COMPLY WITH ALL REGULATIONS BY ANY GOVERNING AGENCY WITH JURISDICTION OVER THE PROJECT OR PROJECT SITE.</p> <p>9. PERMITS/INSPECTIONS: UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE ANY BUILDING PERMIT AND OTHER PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK. THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL OBTAIN A STATEMENT FROM THE IOR AS TO THE COMPLETION OF THE WORK. COORDINATE WITH THE DISTRICT AS TO ANY OTHER CONDITIONS FOR COMPLETION.</p> <p>10. TOXIC MATERIAL: PRIOR TO THE START OF WORK, THE DISTRICT SHALL TEST THE EXISTING PAINT FOR ANY POTENTIAL HAZARDOUS MATERIALS AND REMEDIATE IF REQUIRED. THIS WORK IS INDEPENDENT AND IS THE RESPONSIBILITY OF THE DISTRICT. IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC MATERIAL, WHICH HAS NOT BEEN RENDERED HARMLESS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED, SEAL OFF THE PERIMETER, AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. NO NEW BUILDING MATERIAL SHALL CONTAIN ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC MATERIAL AS DEFINED BY STATE AND FEDERAL REGULATORY AGENCIES.</p> <p>11. PENETRATIONS: PENETRATIONS OF PIPES, TUBES, CONDUIT, WIRES, CABLES, DUCTS, VENTS, CABINETS, LIGHTING, AND OTHER FIXTURES THROUGH FIRE RATED ASSEMBLIES SHALL BE INSTALLED AND PROTECTED TO MAINTAIN FIRE RATING.</p> <p>12. PROTECTION OF ROOF, PARAPET, GUTTERS, GROUND BELOW THE WORK: THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL THESE SURFACES AND MATERIALS, EXISTING OR NEW.</p> <p>13. SUBSTRATE PREPARATIONS: ALL SUBSURFACES SHALL BE PROPERLY PREPARED BEFORE APPLICATION OF FINISHES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR SUBSTRATE CONDITIONS WHERE FINISHES ARE APPLIED.</p> <p>14. DIMENSION STANDARDS: DIMENSIONS ARE NOT ADJUSTABLE UNLESS NOTED WITH A +/- SYMBOL. ONLY NORMAL INDUSTRY STANDARD TOLERANCES ARE ACCEPTABLE DEVIATIONS FROM DIMENSIONS INDICATED. DO NOT SCALE DRAWINGS. ALL DIMENSIONS NOTED AS "CLEAR" SHALL MAINTAIN THE FULL SPACE INDICATED WITHOUT ENCROACHMENTS. ALL VERTICAL HEIGHTS INDICATED ARE FROM THE FINISH FLOOR ELEVATION AT THE BASE OF THE ITEM INDICATED, UNLESS NOTED OTHERWISE. WHERE WALLS, JAMBS, OR OTHER</p> <p>ITEMS ARE NOTED TO "ALIGN", THE FACE OF ITEMS INDICATED SHALL BE IN LINE WITH EACH OTHER TO FORM A STRAIGHT LINE. FREE OF OFFSETS OR DEVIATIONS. FIELD VERIFY ALL DIMENSIONS, UNLESS NOTED OTHERWISE. DIMENSIONS ARE ACTUAL, NOT NOMINAL, AS FOLLOWS: COLUMNS - FROM CENTER LINE TO CENTERLINE INTERIOR PARTITIONS - FROM STUD FACE TO STUD FACE CONCRETE/ MASONRY - FROM FINISH FACE TO FINISH FACE EXTERIOR WALLS - FROM EXTERIOR FACE TO INTERIOR FINISH FACE OF WALL</p>	<p>THE SCOPE OF WORK IS COSMETIC NON- STRUCTURAL, AND SHALL BE CONSIDERED AS MAINTENANCE WORK (AS DEFINED IN DSA (R-422 #15)) TO REPAIR EXISTING. NON-STRUCTURAL DECORATIVE TRIM ELEMENTS TO AN EXISTING DSA CERTIFIED BUILDING AND SHALL BE CONSIDERED EXEMPT FROM DSA REVIEW. THE PROJECT SCOPE OF WORK IS TO PATCH, REPAIR AND PAINT EXISTING DECORATIVE EXTERIOR TRIM WORK AS DEFINED IN THESE DOCUMENTS. THERE SHALL BE NO MODIFICATIONS, REVISIONS, OR CHANGES TO THE EXISTING STRUCTURE, ACCESS OR EGRESS COMPONENTS OF THE EXISTING BUILDING. OCCUPANCY, OCCUPANT LOAD AND SHALL REMAIN UNAFFECTED. SPECIFICATIONS SHALL ALSO FORM A PART OF THIS PROJECT DOCUMENTATION.</p> <p>EXISTING BUILDING TYPE: V-B PROPOSED BUILDING TYPE: V-B</p> <p>EXISTING OCCUPANCY: A-3 PROPOSED OCCUPANCY: A-3</p>	<p>GENERAL DRAWINGS A0.00 COVER SHEET, INDEX, GENERAL & PROJECT NOTES</p> <p>ARCHITECTURE DRAWINGS A3.00 EXTERIOR ELEVATIONS D5.00 PARTIAL DEMO ELEVATIONS/SECTIONS @ B7/B6 D5.01 PARTIAL DEMO PLANS & RCP @ B7/B6 A5.00 PARTIAL ELEVATIONS/SECTIONS @ B7/B6 A5.01 PARTIAL PLANS & RCP @ B7/B6 A8.00 EXTERIOR FASTENERS A8.01 EXTERIOR DETAILS @ CORBELS TYPE B A8.02 EXTERIOR DETAILS @ CORBELS TYPE A</p>	<p>DISTRICT</p> <p>NAME: LUCKY LOFTON EXECUTIVE BOND MANAGER SOLANO COMMUNITY COLLEGE DISTRICT ADDRESS: 4000 SUISSUN VALLEY ROAD FAIRFIELD CA 94534 PHONE: 707-863-7855 PHONE: 707-646-7703</p> <p>PM</p> <p>NAME: KITCHELL CEM - NOE RAMOS ADDRESS: 360 CAMPUS LANE, SUITE 203 FAIRFIELD, CA 94534 PHONE: 707-864-7189 EMAIL: noe.ramos@solano.edu</p> <p>ARCHITECT</p> <p>NAME: CA ARCHITECT ADDRESS: 475 GATE FIVE ROAD, SUITE 107 SAUSALITO, CA 94965 PHONE: 415-331-7655 PHONE: 415-609-7177 EMAIL: jjohn@ca-arch.com</p>			
		ALTERNATES					
		<p>ALTERNATE 1 (SEE SHEET NOTE 3A ON D5.00, D5.01 AND A5.00 AND 1A ON A5.01); IF (E) CONC. BASE CANNOT BE REINSTALLED, PROVIDE COST TO FABRICATE AND INSTALL NEW MATCHING BASE. REPLACE IN KIND (TO MATCH) (E) CONC. COLUMN COVER. MATCH SHAPE, SIDE FINISHES (INC. TILE) AND PROVIDE NEW SUPPORT IF (E) IS DAMAGED. INSTALL FLUSH, PLUMB AND LEVEL AND PROVIDE SEALANT JOINT/CAULKING TO MATCH EXISTING.</p>					
		LEGEND					
		ABBREVIATIONS					
		<table border="0" style="width: 100%;"> <tr> <td style="vertical-align: top;"> ABV - Above ADD - Addition ADJ - Adjust A.F.F. - Above Finished Floor ALT - Alternate APPD - Approved ARCH - Architect ASPH - Asphalt BLDG - Building BM - Beam B.O. - Bottom of B.U.R./BUR - Built up Roof C.B. - Catch Basin C.D. - Construction document CL - Center Line CL - Closet CLG - Ceiling C.O. - Clean Out COL - Column CONT - Continuous CONTR - Contractor CONC - Concrete DBL - Double DEMO - Demolition DIA - Diameter DIM - Dimension DN - Down DR - Door EA - Each E.F. - Exhaust fan ELEV - Elevation ELECT - Electric, electrical EQ - Equal (E) - Existing EXT - Exterior F.A. - Fire alarm </td> <td style="vertical-align: top;"> F.D. - Floor drain F.E. - Fire extinguisher FIN - Finish FLR - Floor GA - Gauge GALV - Galvanized G.C. - General Contractor G.F.C.I. - Ground Fault Circuit Interrupt GL - Glass GWB Gypsum Wall Board H.B. - Hose bib HDW - Hardware HGT - Height H.V.A.C. - Heating, Venting and Air Conditioning INV - Invert INSUL - Insulation INT - Interior JCT - Junction JST - Joist LN - Linear LT - Light LTG - Lighting MTL - Metal MAX - Maximum MECH - Mechanical MFR - Manufacturer's MIN - Minimum MTL - Metal (steel) (N) - New N.T.S. - Not to scale O.C. - On center OPNG - Opening PTD - Painted PART - Partition </td> <td style="vertical-align: top;"> PL - Property Line PLAM - Plastic laminate PLYWD - Plywood P.S.F. - Pounds per square foot P.S.I. - Pounds per square inch RAD - Radius R.D. - Roof drain R.O. - Rough Opening REF - Reference REINF - Reinforced RET - Return REV - Revision RM - Room RMV - Remove S.E.D. - See Electrical Docs SHEDT - Sheathing SIM - Similar SMD - See Mechanical Docs SPD - See Plumbing Docs SPFCS - Specifications SSD - See Structural Docs ST - Square feet SI - Square inches STD - Standard STL - Steel S.Y. - Square yard SYS - System T.O. - Top of THR - Threaded TYP - Typical UNF - Unfinished V.B. - Vapor barrier V.I.F. - Verify in field VCT - Vinyl composition tile WP - Weatherproof WD - Wood </td> </tr> </table>	ABV - Above ADD - Addition ADJ - Adjust A.F.F. - Above Finished Floor ALT - Alternate APPD - Approved ARCH - Architect ASPH - Asphalt BLDG - Building BM - Beam B.O. - Bottom of B.U.R./BUR - Built up Roof C.B. - Catch Basin C.D. - Construction document CL - Center Line CL - Closet CLG - Ceiling C.O. - Clean Out COL - Column CONT - Continuous CONTR - Contractor CONC - Concrete DBL - Double DEMO - Demolition DIA - Diameter DIM - Dimension DN - Down DR - Door EA - Each E.F. - Exhaust fan ELEV - Elevation ELECT - Electric, electrical EQ - Equal (E) - Existing EXT - Exterior F.A. - Fire alarm	F.D. - Floor drain F.E. - Fire extinguisher FIN - Finish FLR - Floor GA - Gauge GALV - Galvanized G.C. - General Contractor G.F.C.I. - Ground Fault Circuit Interrupt GL - Glass GWB Gypsum Wall Board H.B. - Hose bib HDW - Hardware HGT - Height H.V.A.C. - Heating, Venting and Air Conditioning INV - Invert INSUL - Insulation INT - Interior JCT - Junction JST - Joist LN - Linear LT - Light LTG - Lighting MTL - Metal MAX - Maximum MECH - Mechanical MFR - Manufacturer's MIN - Minimum MTL - Metal (steel) (N) - New N.T.S. - Not to scale O.C. - On center OPNG - Opening PTD - Painted PART - Partition	PL - Property Line PLAM - Plastic laminate PLYWD - Plywood P.S.F. - Pounds per square foot P.S.I. - Pounds per square inch RAD - Radius R.D. - Roof drain R.O. - Rough Opening REF - Reference REINF - Reinforced RET - Return REV - Revision RM - Room RMV - Remove S.E.D. - See Electrical Docs SHEDT - Sheathing SIM - Similar SMD - See Mechanical Docs SPD - See Plumbing Docs SPFCS - Specifications SSD - See Structural Docs ST - Square feet SI - Square inches STD - Standard STL - Steel S.Y. - Square yard SYS - System T.O. - Top of THR - Threaded TYP - Typical UNF - Unfinished V.B. - Vapor barrier V.I.F. - Verify in field VCT - Vinyl composition tile WP - Weatherproof WD - Wood		
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		CODES & REGULATIONS					
		<p>2019 BUILDING STANDARDS ADMINISTRATIVE CODE (CBC), PART 1, TITLE 24 C.C.R.</p> <p>2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2012 INTERNATIONAL BUILDING CODE AND 2013 CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R. (2011 NATIONAL ELECTRICAL CODE AND 2013 CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R. (2012 UNIFORM MECHANICAL CODE AND 2013 CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R. (2012 UNIFORM PLUMBING CODE AND 2013 CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R. - WHERE APPLICABLE</p> <p>2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2012 INTERNATIONAL FIRE CODE AND 2013 CALIFORNIA AMENDMENTS)</p> <p>2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R. (WHERE APPLICABLE)</p> <p>2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.</p> <p>TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.</p> <p><u>PARTIAL LIST OF APPLICABLE STANDARDS:</u> NFPA 13, AUTOMATIC SPRINKLER SYSTEMS, 2013 EDITION NFPA 72, NATIONAL FIRE ALARM CODE (CALIFORNIA AMENDED), 2013 EDITION NFPA 80, FIRE DOOR AND OTHER OPENING PROTECTIVES, 2013 EDITION NFPA 2012, CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2012 EDITION REFERENCE CODE SECTION FOR NFPA STANDARDS-2013 CBC (SFM) CHAPTER 35. SEE CHAPTER 35 FOR STATE OF CALIFORNIA AMENDMENTS TO NFPA STANDARDS.</p>					
		KEY PLAN:					
		SCALE:					
		DATE:					
		PROJECT NO.:					
		PERMIT APPLICATION NO.:					

ARCHITECT:
CA ARCHITECTS
475 Gate Five Road, Suite 107
Sausalito, CA 94965
T 415.331.7655
F 415.331.7656

PROJECT:
VACAVILLE ANNEX CORBEL REPAIR PROJECT PHASE II

CONSULTANT TEAM:

STAMP



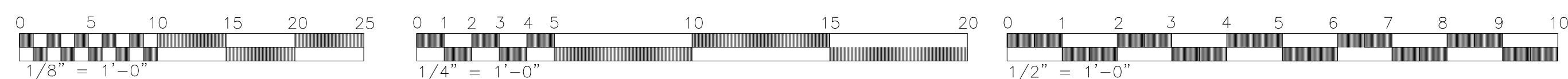
SHEET LEGEND:

ISSUE/REVISION:
NO: DATE: DESCRIPTION:
ISSUE FOR REVIEW 02/08/2021
ISSUE FOR BID 03/05/2021

KEY PLAN:

SCALE:
DATE:
PROJECT NO.:

COVER SHEET
INDEX
A0.00



OWNER:

Solano Community College District
2000 North Village Parkway
Vacaville, CA 95688

ARCHITECT:

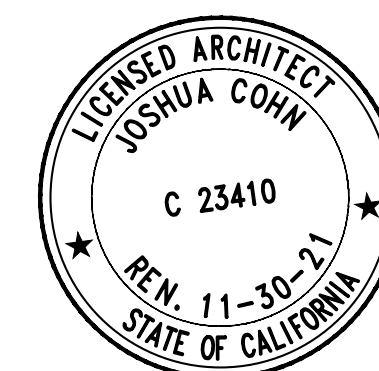
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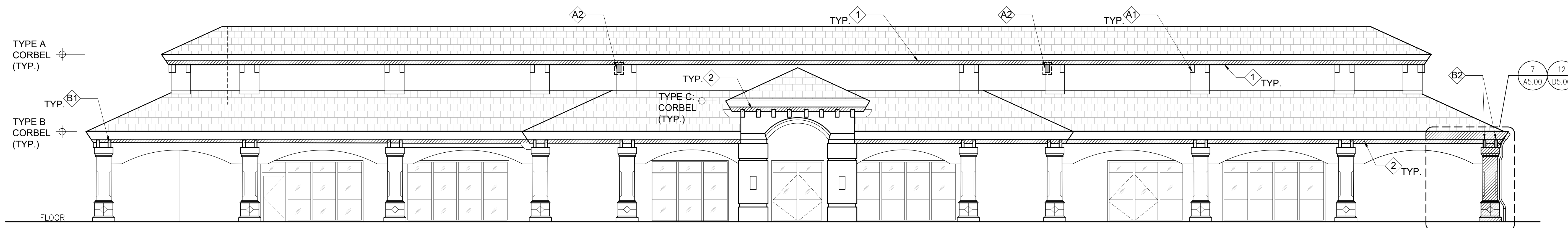
SCALE:

DATE:

PROJECT NO.:

PERMIT APPLICATION NO.:

ELEVATIONS
A3.00



13 NORTH ELEVATION

SCALE:1/8"=1'-0"

SHEET NOTES

- ◆ A1 UPPER CORBEL (TYPE A) TO BE REPAIRED SEE A8.01 (TYP ALL UNLESS INDICATED OTHERWISE)
 - || A2 UPPER CORBEL (TYPE A) TO BE REPLACED SEE A8.01
 - ◆ B1 LOWER CORBEL (TYPE B) TO BE REPAIRED SEE A8.02 (TYP ALL UNLESS INDICATED OTHERWISE)
 - || B2 LOWER CORBEL (TYPE B) TO BE REPLACED SEE A8.02
 - ◆ C1 LOWER CORBEL (TYPE C) TO RECIEVE NEW METAL FLASHING INSTALLATION 12/A8.02 SEE A8.02
 - ◆ 1 WOOD FASCIA @ TO BE REPLACED SEE A8.01
 - ◆ 2 INSTALL 1X LUMBER OVER (E) FASCIA @ LOWER LEVEL
- ALL CORBELS, FASCIAS, FLASHING, AND TRIM SHALL BE PAINTED (TYP.) - SEE PAINT SPEC.
- SCOPE OF DEMOLITION - SEE D5.00, D5.01 FOR ALL DETAILS

FINISH SCHEDULE

EXISTING COLORS TRIM AND PAINTED SURFACES

(REFERENCE FROM A2.1 - SCCD SET APPROVED DATE 12-25-1995)

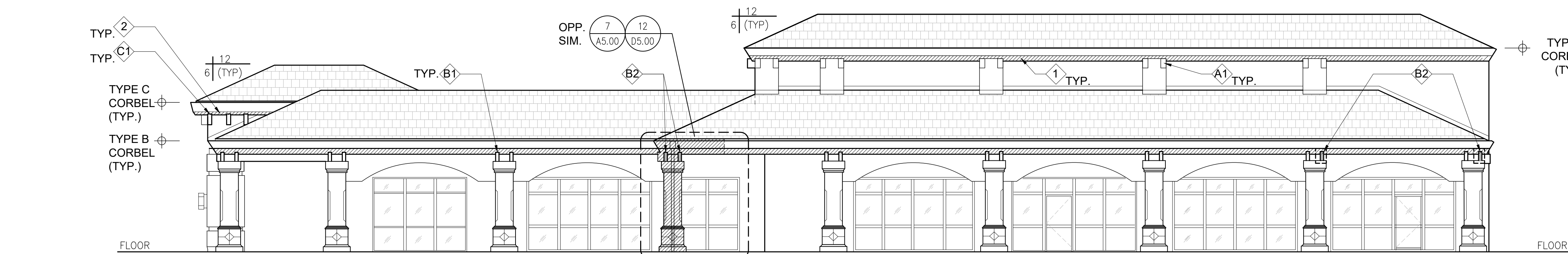
- STUCCO "LA HABRA STUCCO" "PURE IVORY" (MAIN BUILDING STUCCO

STUCCO AT TEMP./PERM. SIGNAGE, DIRECTORIES, COLUMN BODIES)

- STUCCO TRIM "LA HABRA

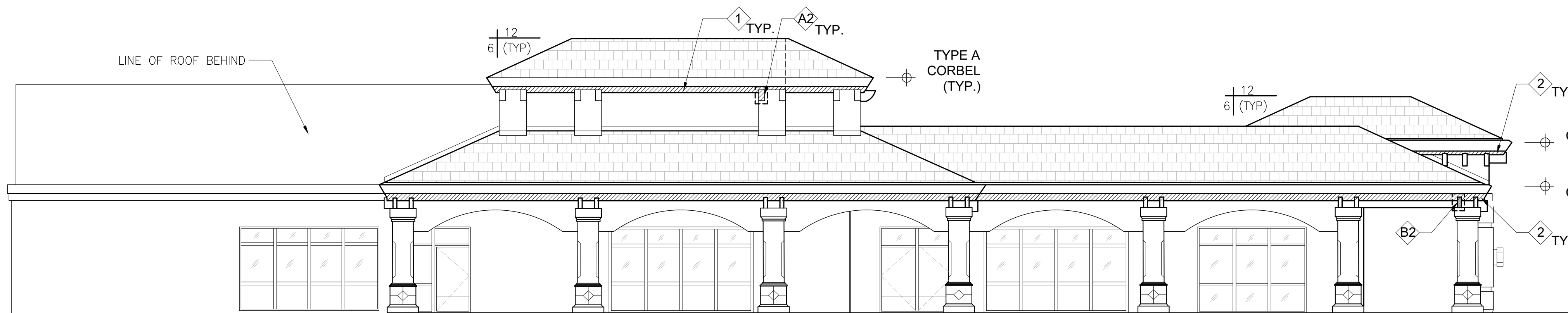
- STUCCO" "FRENCH VANILLA" (ACCENT STUCCO, TRIM & COLUMN BASE VENEER) - WOOD

- TRIM "DUNN-EDWARDS" "RODEO TAN" OR EQUAL (ALL WOOD PAINTED TRIM)



11 WEST ELEVATION

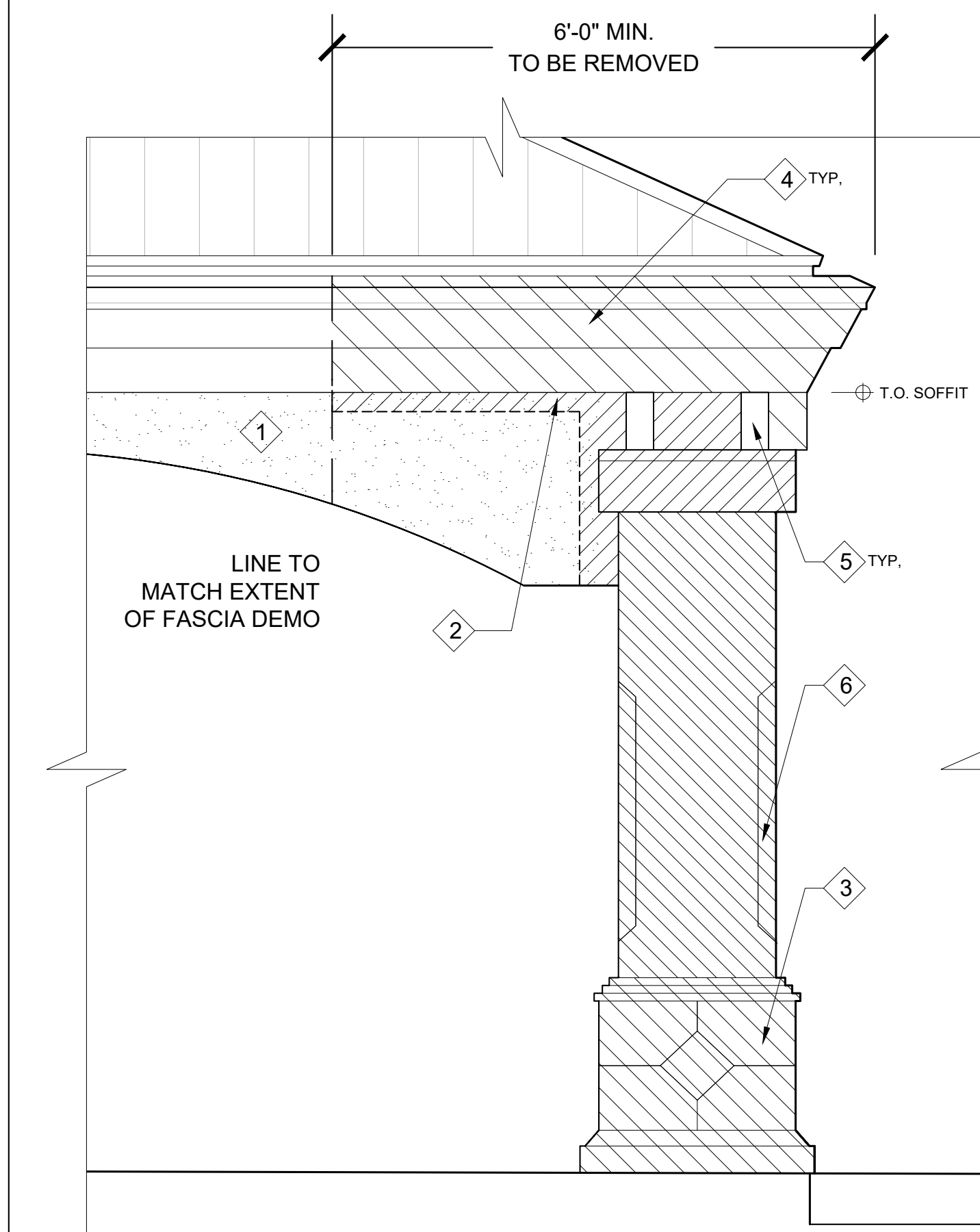
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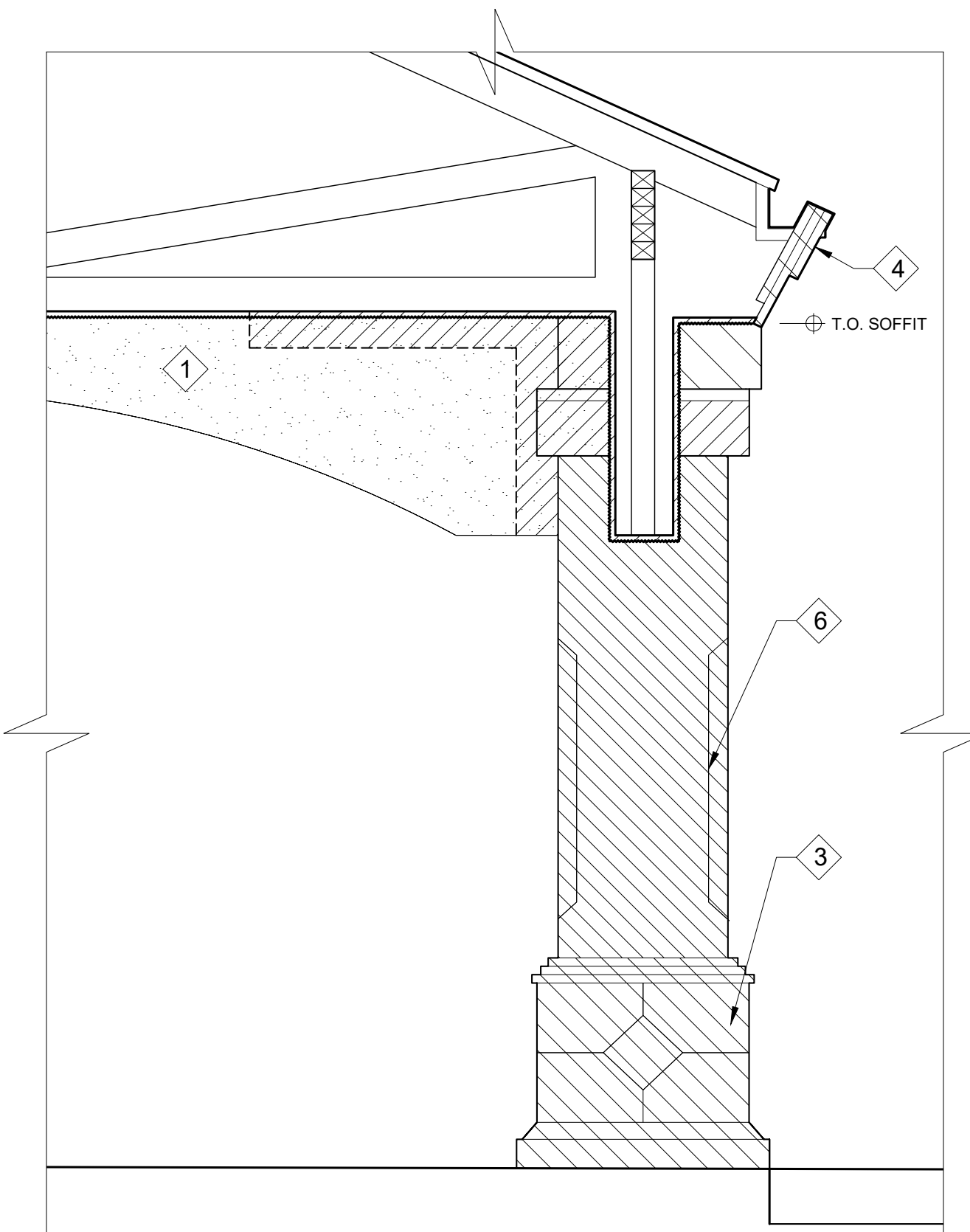
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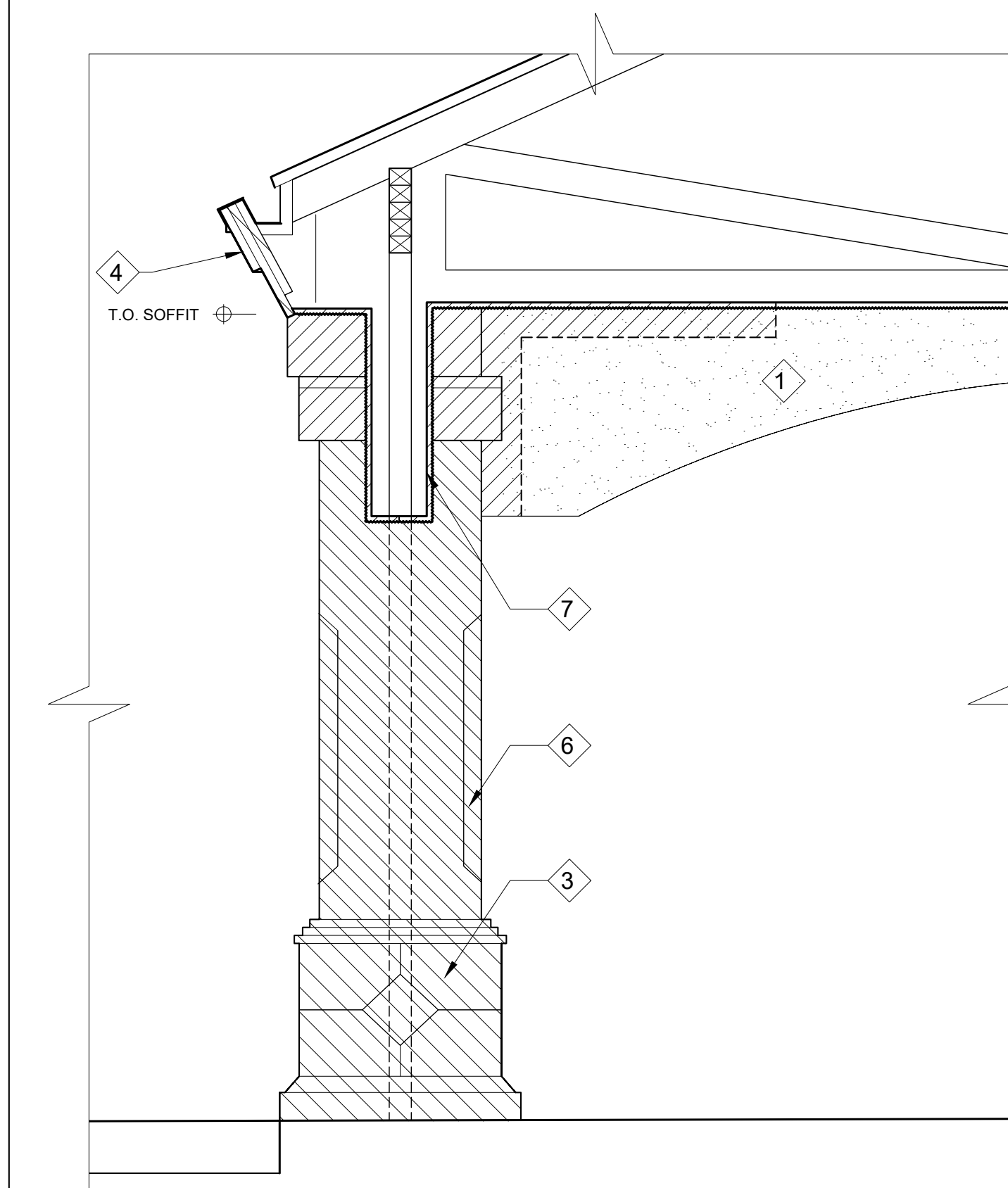




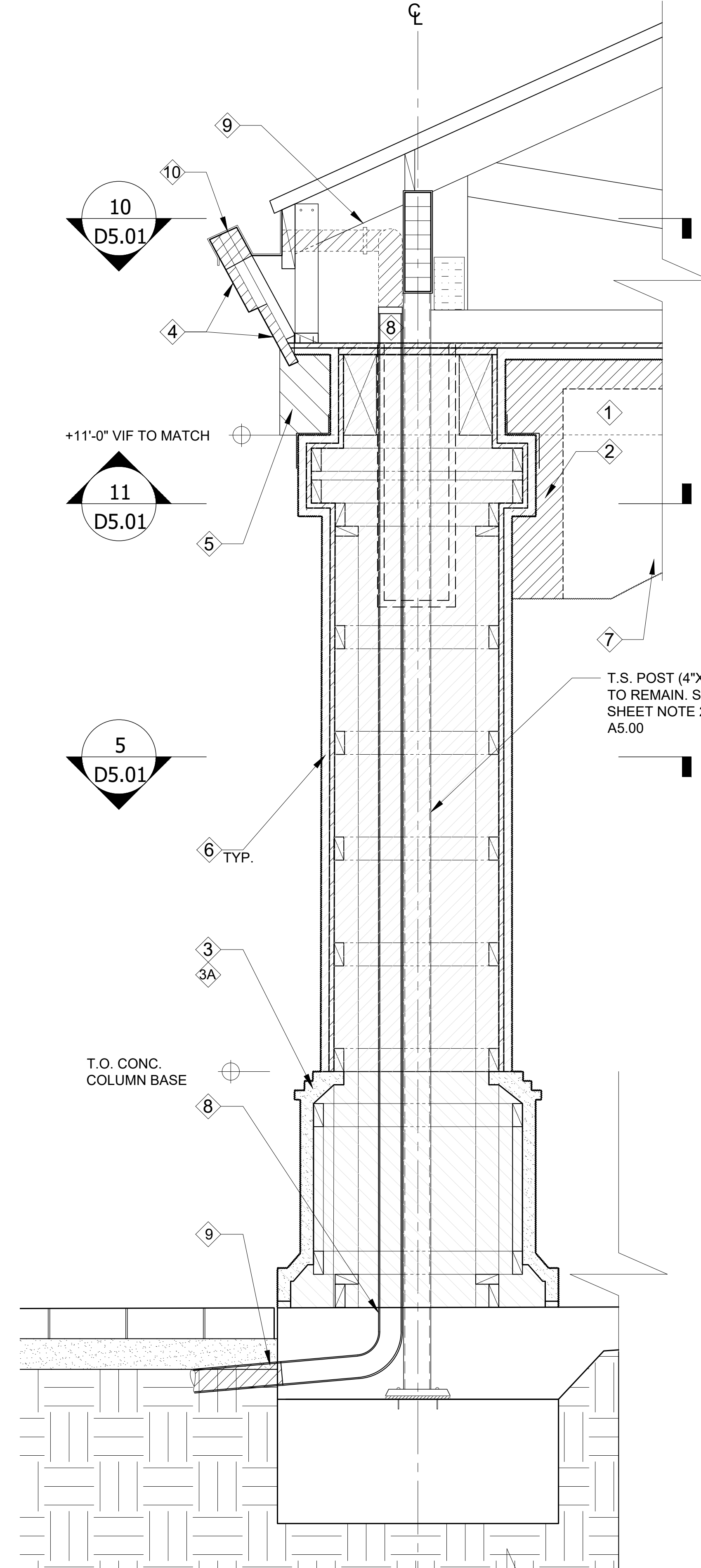
12 PARTIAL NORTH ELEVATION (WEST ELEV. SIM.)
SCALE: 1/2" = 1' - 0"



09 PARTIAL EAST ELEVATION
SCALE: 1/2" = 1' - 0"



10 PARTIAL SOUTH ELEVATION
SCALE: 1/2" = 1' - 0"



4 PARTIAL SECTION
SCALE: 1" = 1' - 0"

SHEET DEMO LEGEND

	PLASTER TO BE DEMOLISHED
	WOODEN FASCIA/CORBEL TO BE DEMOLISHED
	CONCRETE COLUMN BASE TO BE REMOVED AND REINSTALLED

GENERAL SHEET NOTES

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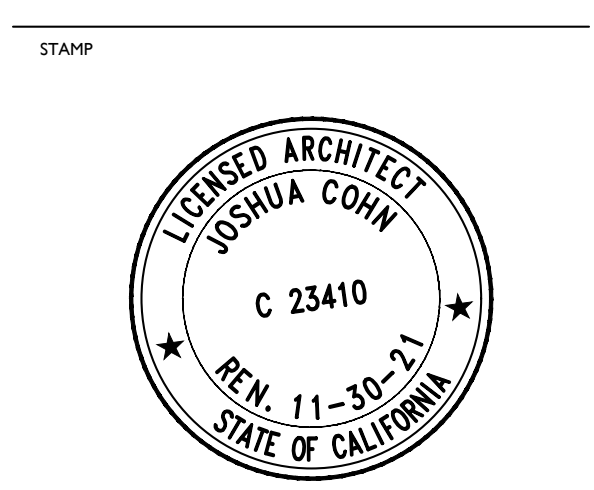
DEMO SHEET NOTES

- 1 (E) CEMENT PLASTER TO REMAIN
- 2 (E) CEMENT PLASTER TO BE CAREFULLY REMOVED AND REPLACED TO ALLOW (E) BUILDING PAPER TO REMAIN - SEE A8.02
- 3 (E) CONC. COLUMN BASE TO BE STORED AND REINSTALLED - COORDINATE STORAGE W/ OWNER
- 3A ALTERNATE: IF (E) BASE CANNOT BE REINSTALLED, PROVIDE COST TO FABRICATE AND INSTALL NEW MATCHING BASE
- 4 (E) WOOD FASCIA TO BE DEMOLISHED AND REPLACED - SEE ELEVATIONS
- 5 (E) WOOD CORBELS ON BOTH SIDES, TO BE DEMOLISHED AND REPLACED - SEE A8.01
- 6 REMOVE (E) CEMENT PLASTER PLYWOOD BACKING AND FRAMING FULL HEIGHT, ALL SIDES SOUND VERTICAL WOOD FRAMING (STUDS) SHALL BE MAINTAINED
- 7 PROVIDE TEMP. SHORING FOR NON-STRUCTURAL ARCH, ASSEMBLY (TYP.)
- 8 INTERNALLY CAP (E) RAIN LEADER
- 9 REMOVE (E) GSM RAIN LEADER AND TRIM AS REQ'D TO ALLOW NEW GUTTER/RAIN LEADER TO BE INSTALLED - SEE A8.01
- 10 "NOTCH" (E) GUTTER/WOOD FASCIA FOR NEW CONDUCTOR; FLASHING AND GUTTER

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VACAVILLE ANNEX CORBEL REPAIR
PROJECT PHASE II

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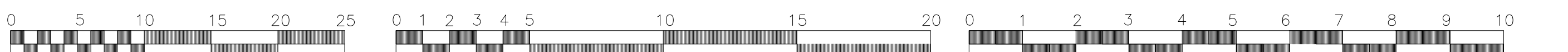


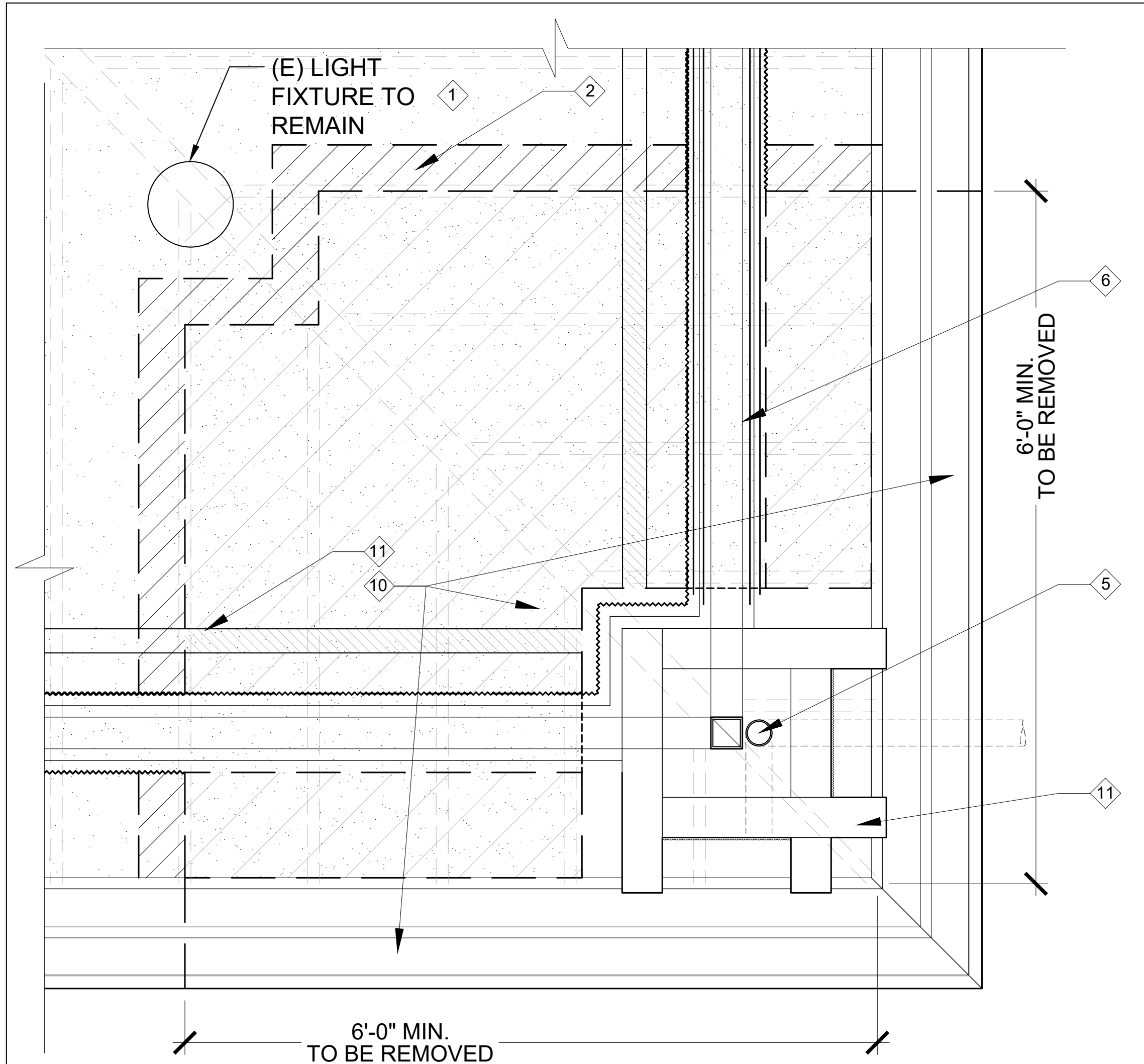
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ISSUE/REVISION:
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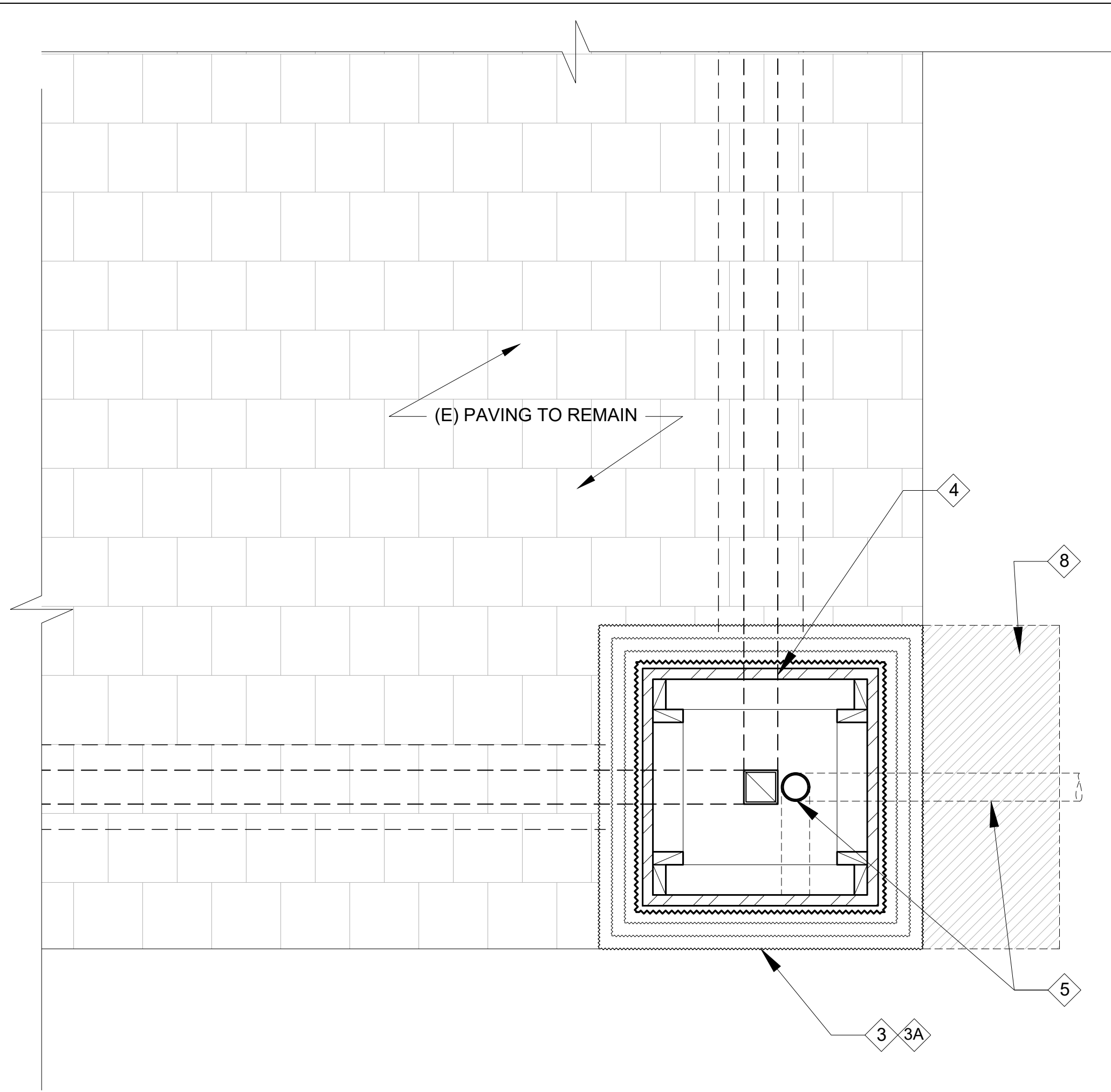
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PROJECT NO.:
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**PARTIAL
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SECTION
D5.00**





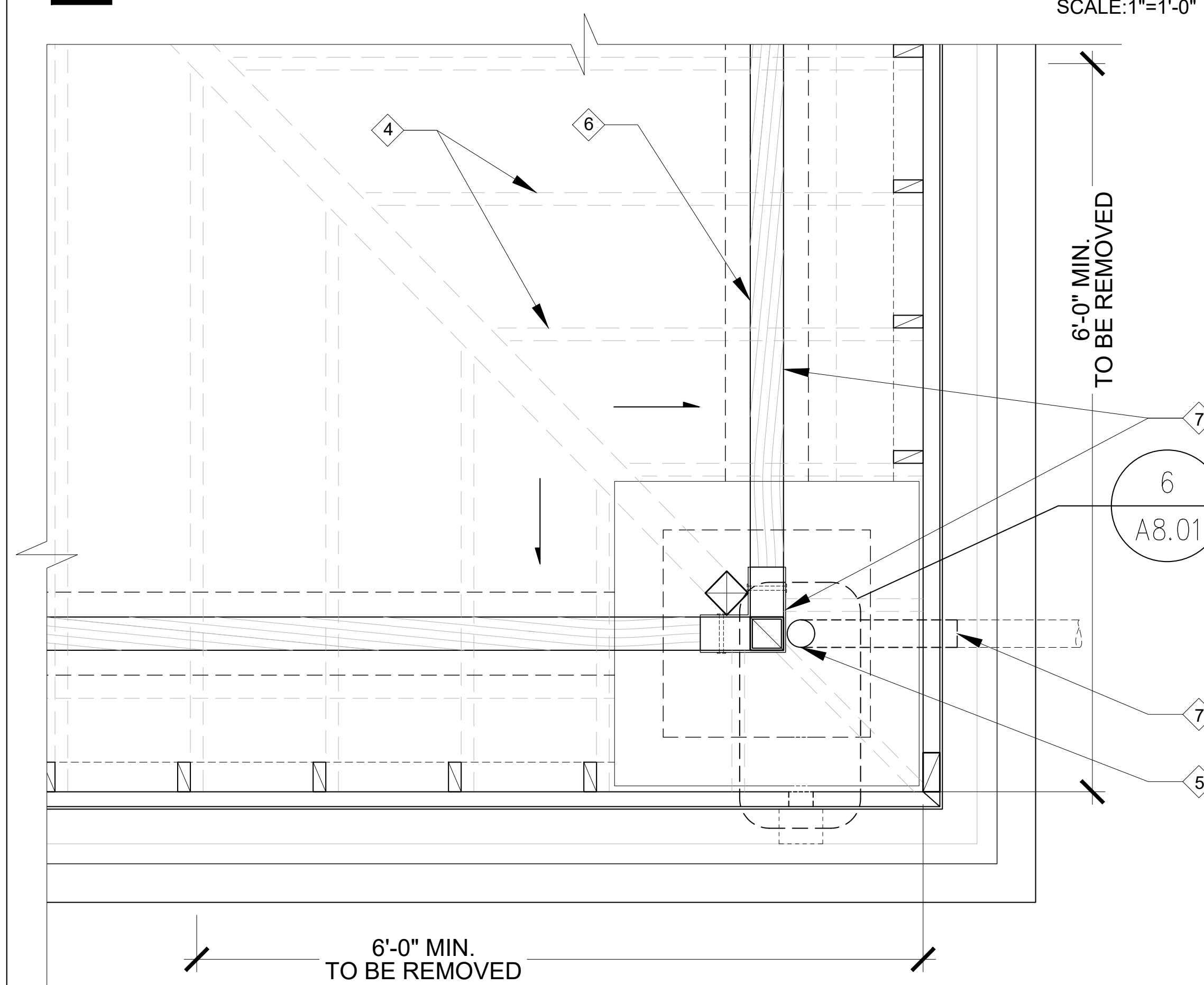
11 PARTIAL RCP

SCALE: 1"=1'-0"



5 PARTIAL PLAN

SCALE: 1"=1'-0"



10 PARTIAL PLAN

SCALE: 1"=1'-0"

SHEET LEGEND

- DASHED OUTLINE OF 2X RAFTERS 16" O.C. BELOW
- GLB - SEE NOTES ON INSPECTION
- BRICK PAVERS BELOW
- PLASTER FINISH
- 4X TUBE STEEL POST - SEE NOTES ON INSPECTION
- 1-1/4" PLYWOOD SHEATHING

SHEET DEMO LEGEND

- PLASTER LATHE TO BE DEMOLISHED
- WOODEN FASCIA/CORBEL TO BE DEMOLISHED
- GSM SOFFIT VENT TO BE DEMOLISHED
- DEMO FOR CONCRETE BASE. SEE A5.00

DEMO SHEET NOTES

- 1 (E) CEMENT PLASTER TO REMAIN
- 2 (E) CEMENT PLASTER AND LATHE TO BE CAREFULLY REMOVED AND REPLACED TO ALLOW (E) BUILDING PAPER TO REMAIN - SEE A8.01
- 3 (E) CONC. COLUMN BASE TO BE STORED AND REINSTALLED
- 3A ALTERNATE: IF (E) BASE CANNOT BE REINSTALLED, PROVIDE COST TO FABRICATE AND INSTALL NEW MATCHING BASE
- 4 REMOVE (E) CEMENT PLASTER PLYWOOD BACKING AND FRAMING FULL HEIGHT, ALL SIDES SOUND VERTICAL WOOD FRAMING (STUDS) SHALL BE MAINTAINED, REPLACE IN KIND WHERE DAMAGED
- 5 LEAVE RAIN LEADER IN PLACE WHERE NOT INTERFERING WITH NEW WORK (TYP.)
- 6 INSPECT AND PROVIDE REPORT IN WRITING OF EXISTING CONDITION OF WOOD GLU-LAM BEAM AND MTL. SUPPORT POST AND FASTENER
- 7 REMOVE PORTIONS OF (E) GUTTER/RAIN LEADER TO ALLOW FOR NEW GUTTER/RAIN INSTALLATION (TYP.)
- 8 DEMO FOR CONCRETE. SEE A5.01, CARE SHALL BE TAKEN NOT TO DAMAGE (E) RL AND DRAIN LINE.
- 9 REMOVE (E) CEMENT PLASTER, LATHE, PAPER, SHEATHING & FRAMING (WHERE DAMAGED) AND REPLACE IN KIND.
- 10 REPLACE NON-STRUCTURAL CORBELS IN KIND
- 11 REMOVE (E) GSM SOFFIT VENT

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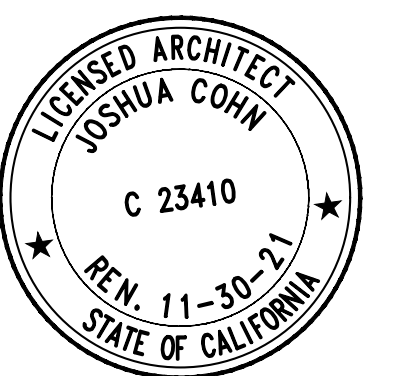
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SCALE:

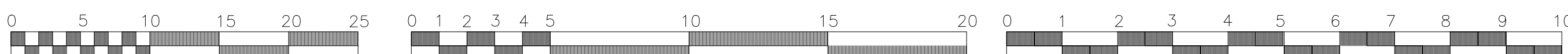
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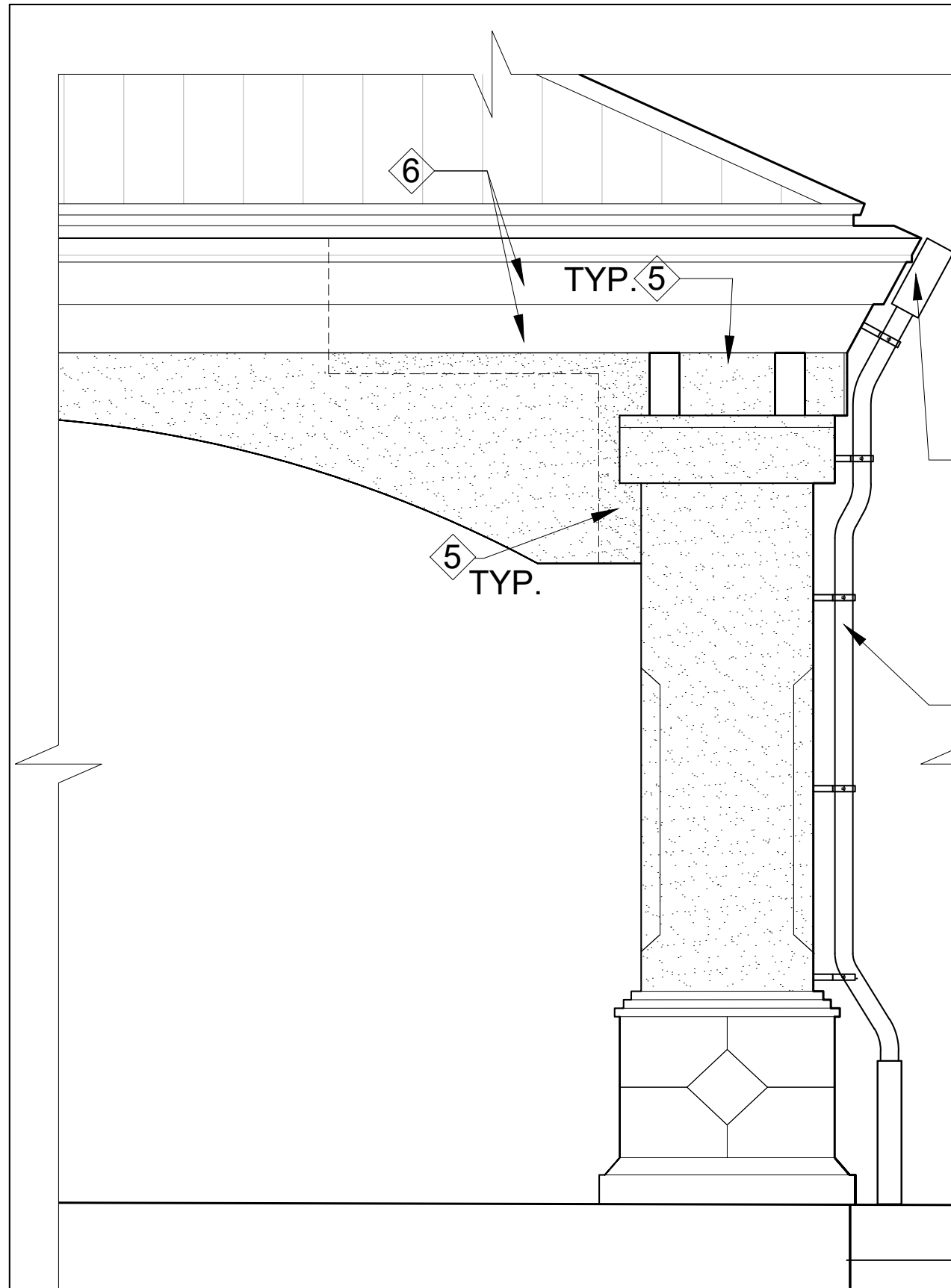
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PERMIT APPLICATION NO.:

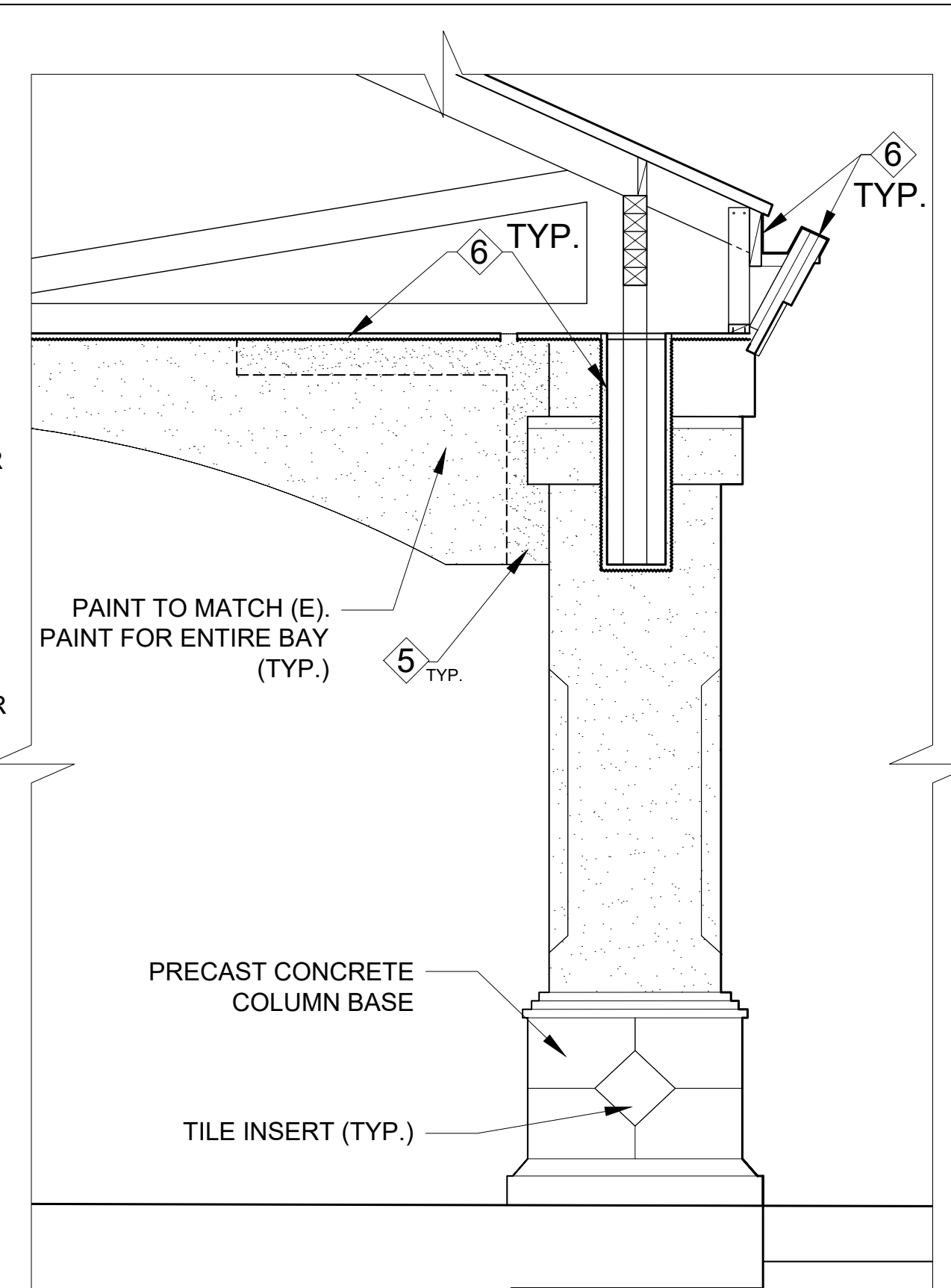
PARTIAL DEMO
PLANS

D5.01

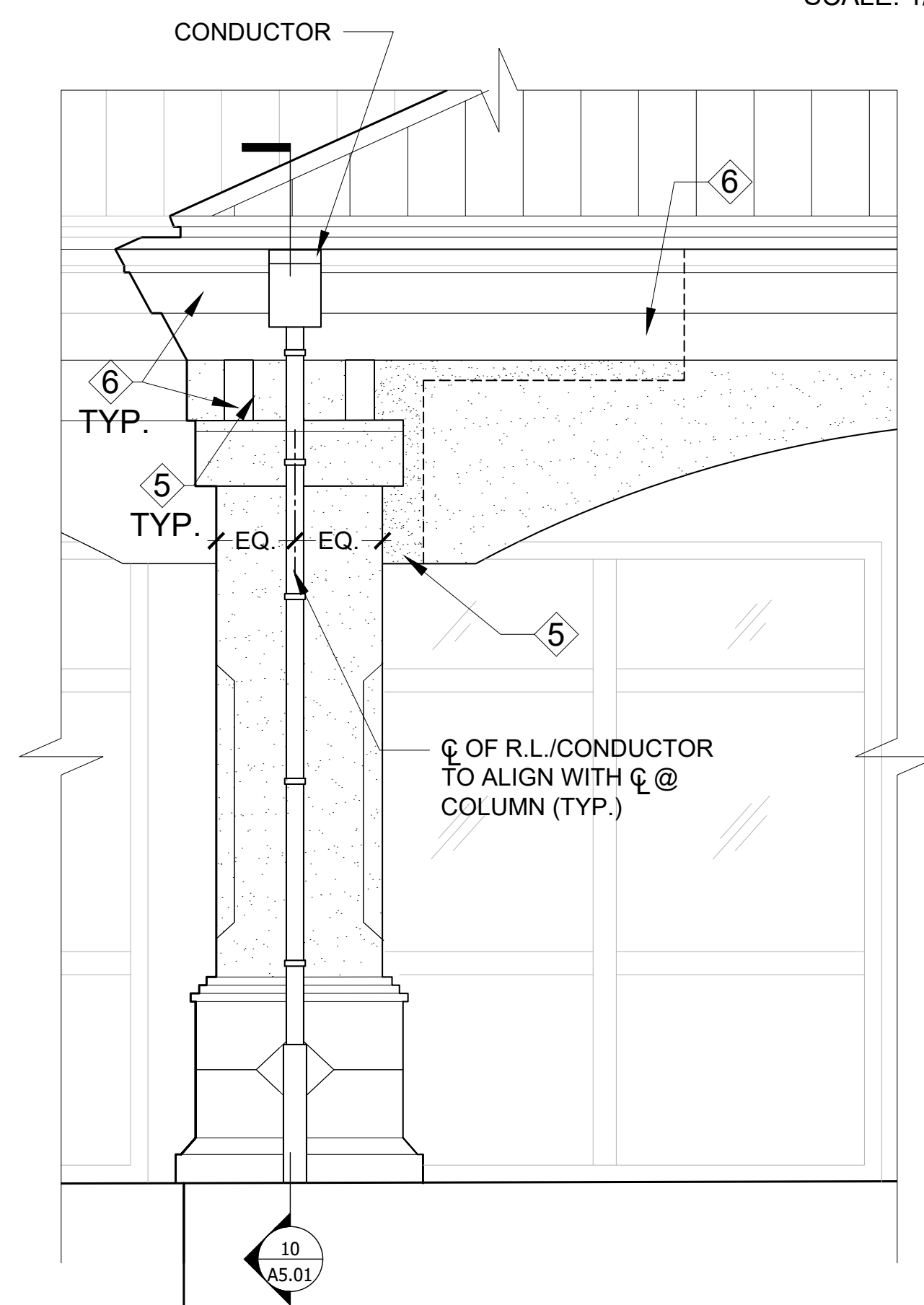




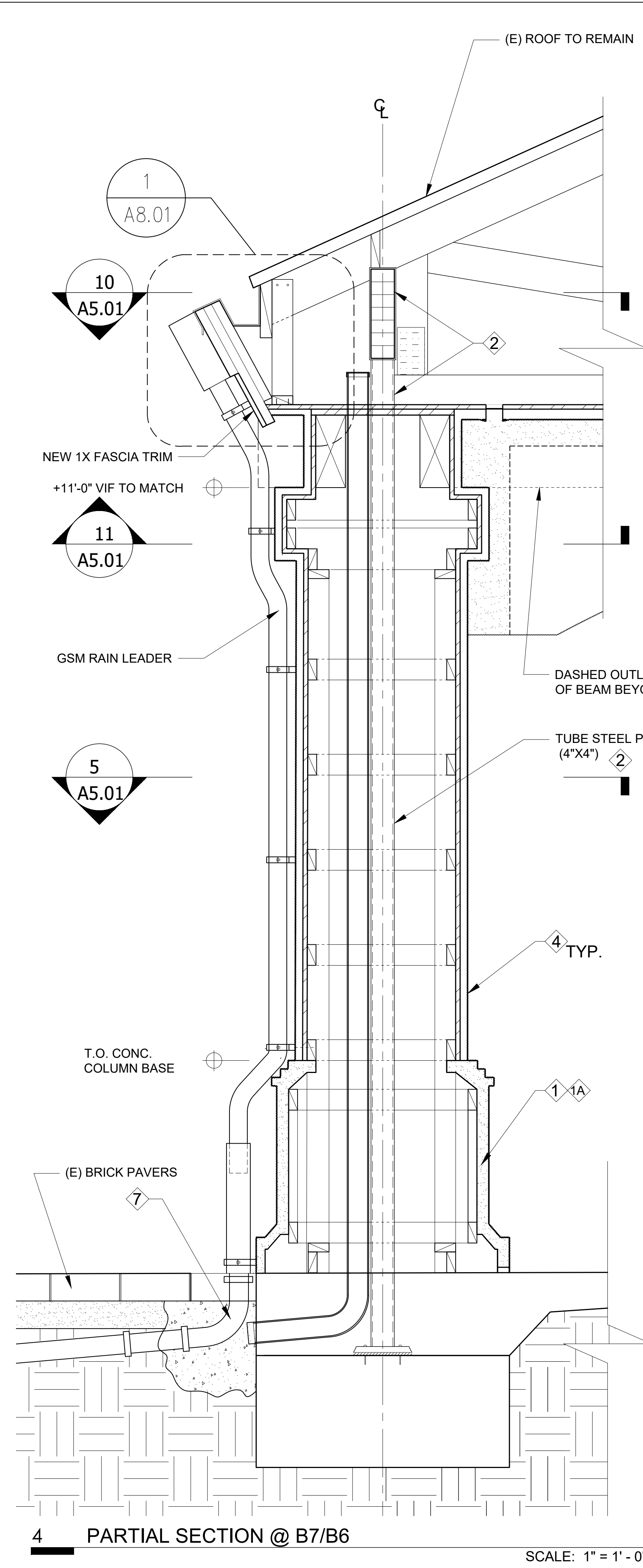
12 PARTIAL NORTH ELEVATION
SCALE: 1/2" = 1' - 0"



09 PARTIAL EAST SECTION/ELEVATION1 (SOUTH ELEV. SIM.)
SCALE: 1/2" = 1' - 0"



7 PARTIAL WEST ELEVATION
SCALE: 1/2" = 1' - 0"



4 PARTIAL SECTION @ B7/B6
SCALE: 1" = 1' - 0"

SHEET LEGEND

- BRICK PAVERS BELOW
- PLASTER FINISH
- 1-1/4" PLYWOOD SHEATHING

SHEET NOTES

- 1 (E) CONC. PRECAST COLUMN BASE TO BE STORED AND REINSTALLED - COORDINATE STORAGE W/ OWNER
- 1A ALTERNATE #1: IF (E) BASE CANNOT BE REINSTALLED, PROVIDE COST TO FABRICATE AND INSTALL NEW MATCHING BASE
- 2 EXPOSE (E) T.S. COLUMN AND GLB FOR INSPECTION PRIOR TO ENCLOSING. IF RUST IS FOUND, CLEAN & APPLY TWO COATS OF PRIMER. IF BASE PLATE HAS RUST, CLEAN STEEL AND APPLY SIKA ARMATEC - 110 EPOCEM BONDING PRIMER (PROVIDE ALLOWANCE FOR RUST WORK)
- 3 CAP END WITH TIGHT FITTING APS OR PVS CAP USE SEALANT
- 4 PROVIDE CEMENT PLASTER COLUMN INCLUDING SHEATHING, FRAMING, ETC. ALLOWS SOUND VERTICAL FRAMING TO REMAIN. FRAMING SHOWN IS DIAGRAMMATIC. GC SHALL INSPECT AND REPLACE IN KIND ANY DAMAGED FRAMING (TYP.)
- 5 PROVIDE CEMENT PLASTER, PLYWOOD SUBSTRATE FLASHING, LITHE AND PAPER TO MATCH EXISTING (TYP.)
- 6 PROVIDE WOOD CORBEL FASCIA, WOOD FRAMING, PLYWOOD SHEATHING TO MATCH WHERE REMOVED OR DAMAGED (TYP.)
- 7 PROVIDE RIGID CONNECTION FROM (E) DRAIN TO NEW RAIN LEADER. PROVIDE ALL TIE-INS WITH APPROPRIATE MATERIALS. STABILIZE W/ CONCRETE SLURRY. REINSTALL (E) PAVERS AND TRIM TO ALLOW FOR NEW CONNECTION.

FINISH SCHEDULE

- EXISTING COLORS TRIM AND PAINTED SURFACES (REFERENCE FROM A2.1 - SCCD SET APPROVED DATE 12-25-1995)
- STUCCO "LA HABRA STUCCO" "PURE IVORY" (MAIN BUILDING STUCCO)
- STUCCO AT TEMP./PERM. SIGNAGE, DIRECTORIES, COLUMN BODIES)
- STUCCO TRIM "LA HABRA
- STUCCO "FRENCH VANILLA" (ACCENT STUCCO, TRIM & COLUMN BASE VENEER) - WOOD
- TRIM "DUNN-EDWARDS" "RODEO TAN" OR EQUAL (ALL WOOD PAINTED TRIM)

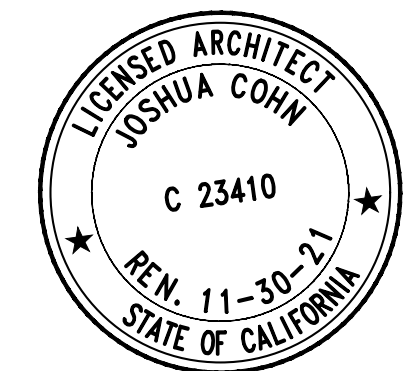
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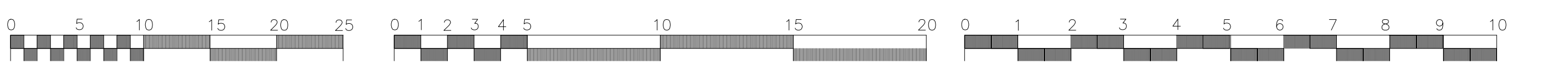


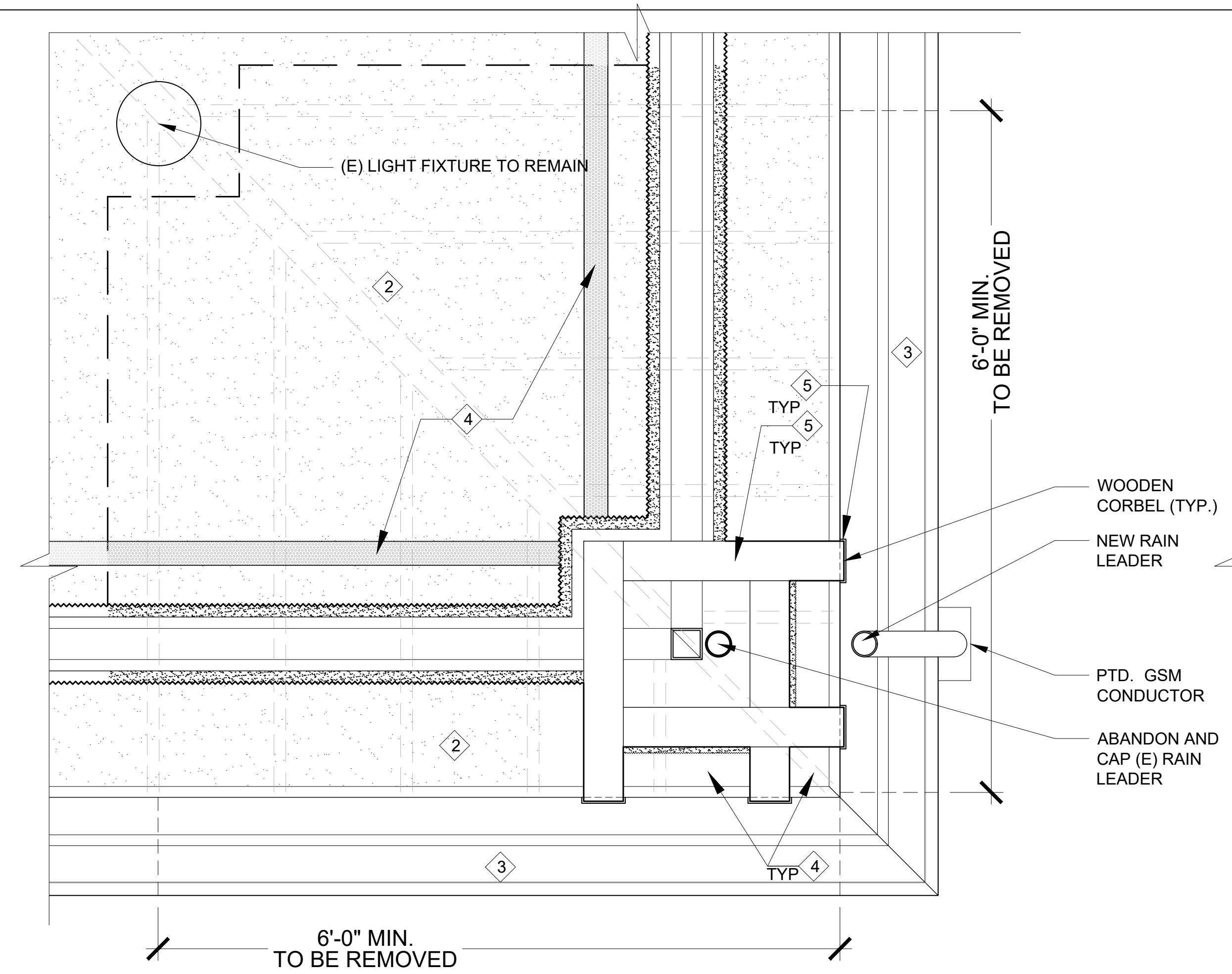
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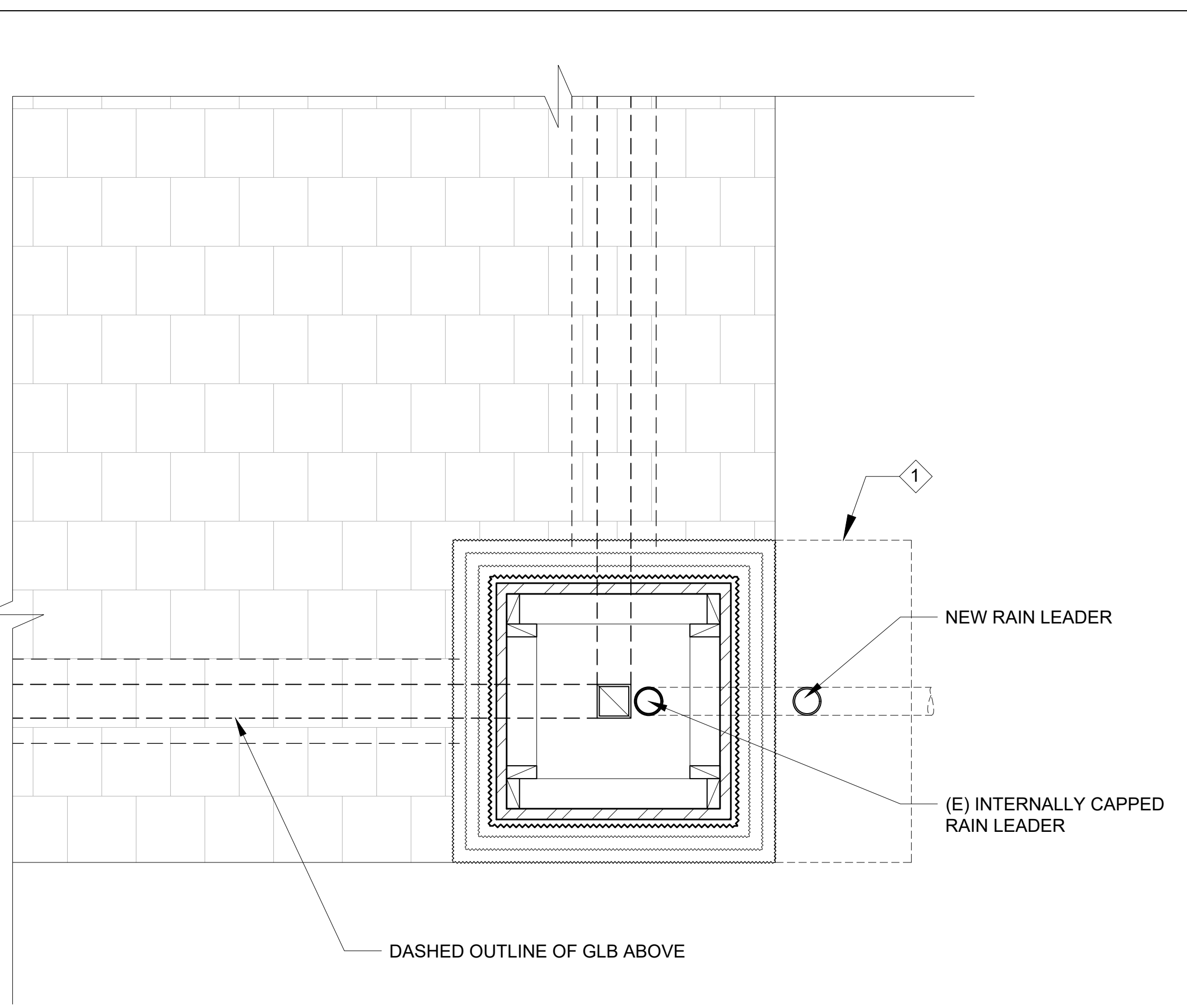
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ELEVATIONS/
SECTION
A5.00**





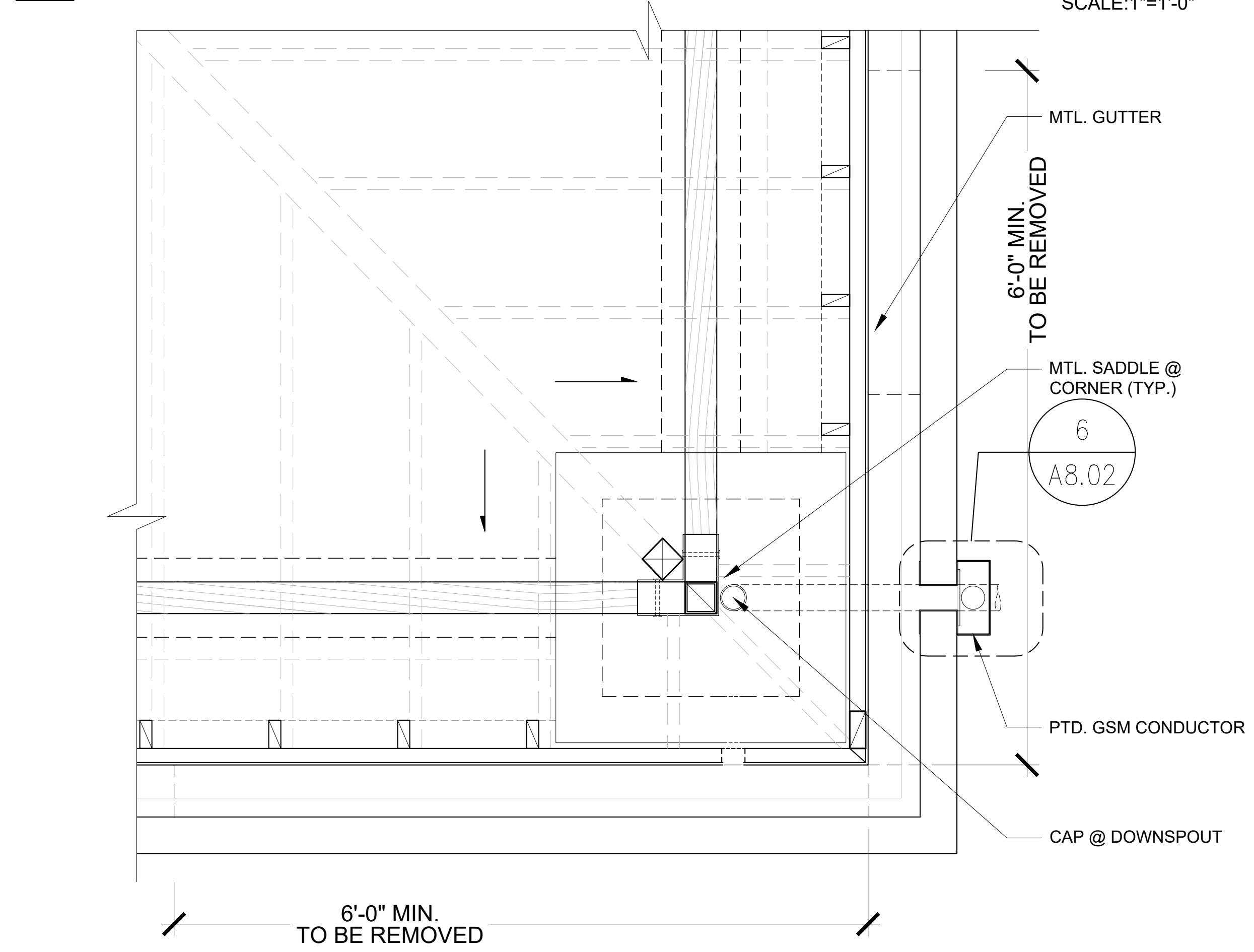
11 PARTIAL RCP

SCALE: 1"=1'-0"



5 PARTIAL PLAN

SCALE: 1"=1'-0"



10 PARTIAL PLAN

SCALE: 1"=1'-0"

SHEET LEGEND

- DASHED OUTLINE OF 2X RAFTERS 16" O.C. BELOW
- GLB
- BRICK PAVERS BELOW
- PLASTER FINISH
- 4X TUBE STEEL POST
- 1-1/4" PLYWOOD SHEATHING

- GENERAL SHEET NOTES**
- 1 PROVIDE 2000 PSI CONC. SURRY TO ENCASE RL CONNECTION. OUTLINE IS APPROXIMATE
 - 2 PROVIDE NEW CEMENT PLASTER, LATHE, PAPER TO MATCH REPLACE SHEATHING AND NON-STRUCTURAL FRAMING WHERE DAMAGED. REPLACE ALL IN-KIND TO MATCH EXISTING (TYP.)
 - 3 REPLACE (E) GSM FLASHING, WOOD TRIM, FASCIA, GUTTER IN-KIND TO MATCH EXISTING (TYP.)
 - 4 PROVIDE GSM SOFFIT VENT TO REPLACE IN-KIND AND IN-LOCATION OF EXISTING
 - 5 REPLACE IN-KIND ALL WOOD CORBELS ANCHOR AND ATTACH TO FRAMING. IF PROTIIONS OF (E) FRAMING ARE DAMAGED, REPLACE IN-KIND TO MATCH EXISTING.
 - 6 PROVIDE PTD. GSM CORBEL CAP FLASHING (TYP.)

EXISTING COLORS
TRIM AND PAINTED SURFACES
(REFERENCE FROM A2.1 - SCCD SET
APPROVED DATE 12-25-1995)

STUCCO "LA HABRA STUCCO"
"PURE IVORY" (MAIN BUILDING STUCCO,
STUCCO AT TEMP./PERM. SIGNAGE,
DIRECTORIES, COLUMN BODIES)
STUCCO TRIM "LA HABRA STUCCO" "FRENCH
VANILLA" (ACCENT STUCCO, TRIM & COLUMN
BASE VENEER)
- WOOD
TRIM "DUNN-EDWARDS"
"RODEO TAN" OR EQUAL (ALL WOOD PAINTED
TRIM)

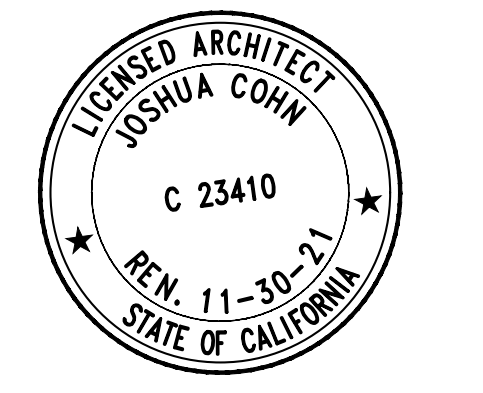
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PARTIAL PLANS

A5.01

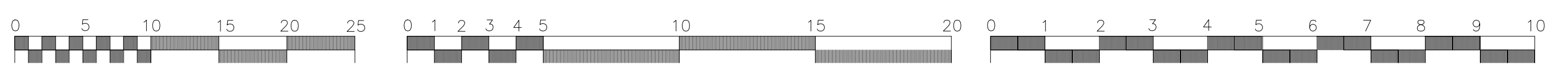


TABLE 2304.9.1
FASTENING SCHEDULE

CONNECTION	FASTENING ^{a,m}	LOCATION
1. JOIST TO SILL OR GIRDER	3-8d COMMON (2-1/2"x0.131") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
2. BRIDGING TO JOIST	2-8d COMMON (2-1/2"x0.131") 2-3"x0.131" NAILS 2-3" 14 GAGE STAPLES	TOENAIL EACH END
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2-1/2"x0.131")	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3-8d COMMON (2-1/2"x0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3-1/2"x0.162")	BLIND & FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2"x0.135") AT 16" O.C. 3"x0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	3-16d (3-1/2"x0.135") AT 16" 4-3"x0.131" NAILS AT 16" 4-3" 14 GAGE STAPLES	BRACED WALL PANEL
7. TOP PLATE TO STUD	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4-8d COMMON (2-1/2"x0.131") 4-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
9. DOUBLE STUD	16d (3-1/2"x0.135") AT 16" O.C. 3"x0.131" NAILS AT 8" O.C. 3" 14 GAGE STAPLES AT 8" O.C.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3-1/2"x0.135") AT 24" O.C. 3"x0.131" NAILS AT 12" O.C. 3" 14 GAGE STAPLES	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8-16d COMMON (3-1/2"x0.162") 12-3"x0.131" NAILS 12-3" 14 GAGE STAPLES	LAP SPLICE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TOP PLATE	3-8d COMMON (2-1/2"x0.131") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d (2-1/2"x0.131") 6" O.C. 3"x0.131" NAILS AT 6" O.C. 3" 14 GAGE STAPLES AT 6" O.C.	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2"x0.162")	16" O.C. ALONG EDGE
15. CEILING JOISTS TOP PLATE	3-8d COMMON (2-1/2"x0.131") 5-3"x0.131" NAILS 5-3" 14 GAGE STAPLES	TOENAIL
16. CONTINUOUS HEADER TO STUD	4-8d COMMON (2-1/2"x0.131")	TOENAIL
17. CEILING JOISTS. LAPS OVER PARTITIONS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d COMMON (3-1/2"x0.162") MINIMUM, TABLE 2308.10.4.1 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS (SEE SECTION 2308.10.4.1, TABLE 2308.10.4.1)	3-16d COMMON (3-1/2"x0.162") MINIMUM, TABLE 2308.10.4.1 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
19. RAFTER TO PLATE (SEE SECTION 2308.10.4.1, TABLE 2308.4.1)	3-8d COMMON (2-1/2"x0.131") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
20. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8d COMMON (2-1/2"x0.131") 2-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
21. 1"x8" SHEATHING TO EACH BEARING	3-8d COMMON (2-1/2"x0.131")	FACE NAIL
22. WIDER THAN 1"x8" SHEATHING TO EACH BEARING	3-8d COMMON (2-1/2"x0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") 3"x0.131" NAILS 3" 14 GAGE STAPLES	24" o.c. 16" o.c. 16" o.c.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4"x0.192") 32" O.C. 3"x0.131" NAIL AT 24" O.C. 3" 14 GAGE STAPLES AT 24" O.C.	FACE NAIL AT TOP & BOTTOM ON OPPOSITE SIDES
	2-20d COMMON (4"x0.192") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL AT ENDS AND AT EACH SPLICE

TABLE 2304.9.1 CONTINUED
FASTENING SCHEDULE

CONNECTION	FASTENING	LOCATION
25. 2" PLANKS	16d COMMON (3-1/2"x0.162")	AT EACH BEARING
26. COLLAR TIE TO RAFTER	3-10d COMMON (3"x0.148") 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
27. JACK RAFTER TO HIP	3-10d COMMON (3"x0.148") 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	TOENAIL
	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	TOENAIL
	2-16d COMMON (3-1/2"x0.162") 3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	FACE NAIL
29. JOIST TO BAND JOIST	3-16d COMMON (3-1/2"x0.162") 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
JO, I, E	3-16d COMMON (3-1/2"x0.162") 4-3"x0.131" NAILS 4-3" 14 GAGE STAPLES	FACE NAIL
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 6d ^c .1 2-3/8"x0.113" NAIL ⁿ 1-3/4" 16 GAGE ^p 19/32" TO 3/4" 8d ^d OR 6d ^o 2-3/8"x0.113" NAIL ^p 2" 16 GAGE ^p 7/8" TO 1" 8d ^c 1-1/8" TO 1-1/4" 10d ^d OR 8d ^d	
SINGLE FLOOR (or) BINATION SUBFLOOR- UNDERLAMENT	3/4" AND LESS 6d ^e 7/8" TO 1" 8d ^e 1-1/8" TO 1-1/4" 10d ^d OR 6d ^o	
32. PANEL SIDING (TO FRAMING)	1/2" OR LESS 6d ^f 5/8" 8d ^f	
33. FIBERBOARD	1/2" NO. 11 GAGE ROOFING NAIL 6d COMMON NAIL (2"x0.113") NO. 16 GAGE 25/32" NO. 11 GAGE ROOFING NAIL 8d COMMON NAIL (2-1/2"x0.113") NO. 16 GAGE ^h	
34. INTERIOR PANELING	1/4" 4d ⁱ 3/8" 6d ^k	

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ARCHITECT:

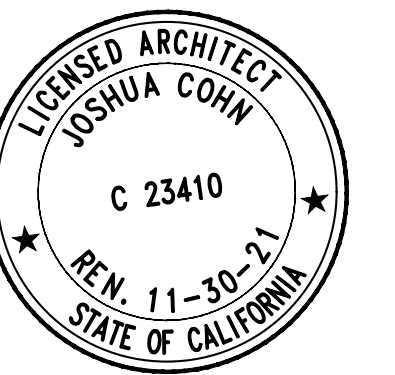
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PROJECT:

VACAVILLE ANNEX CORBEL REPAIR
PROJECT PHASE II

CONSULTANT TEAM:

STAMP



SHEET LEGEND:

ISSUE/REVISION:

NO. DATE DESCRIPTION:

ISSUE FOR REVIEW 02/08/2021

ISSUE FOR BID 03/05/2021

KEY PLAN:

SCALE:

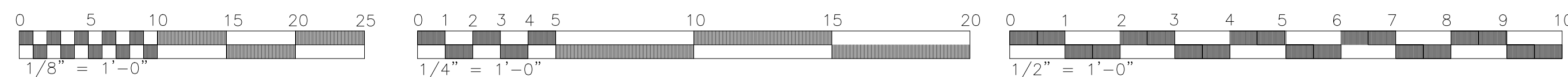
DATE:

PROJECT NO.:

PERMIT APPLICATION NO.:

EXT. FASTENERS

A8.00



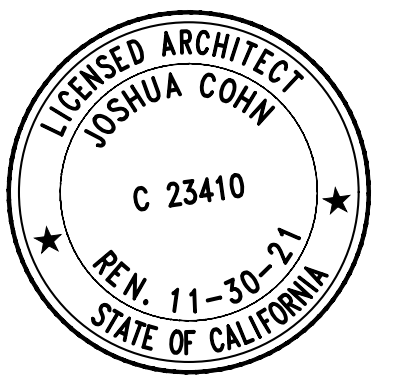
OWNER:
 Solano Community College District
 2000 North Village Parkway
 Vacaville, CA 95688

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 CA ARCHITECTS
 475 Gate Five Road, Suite 107
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 T 415.331.7655
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PROJECT:
 VACAVILLE ANNEX CORBEL REPAIR
 PROJECT PHASE II

CONSULTANT TEAM:

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EXT. DETAILS @
 CORBEL TYPE A
A8.01

GENERAL SHEET NOTES

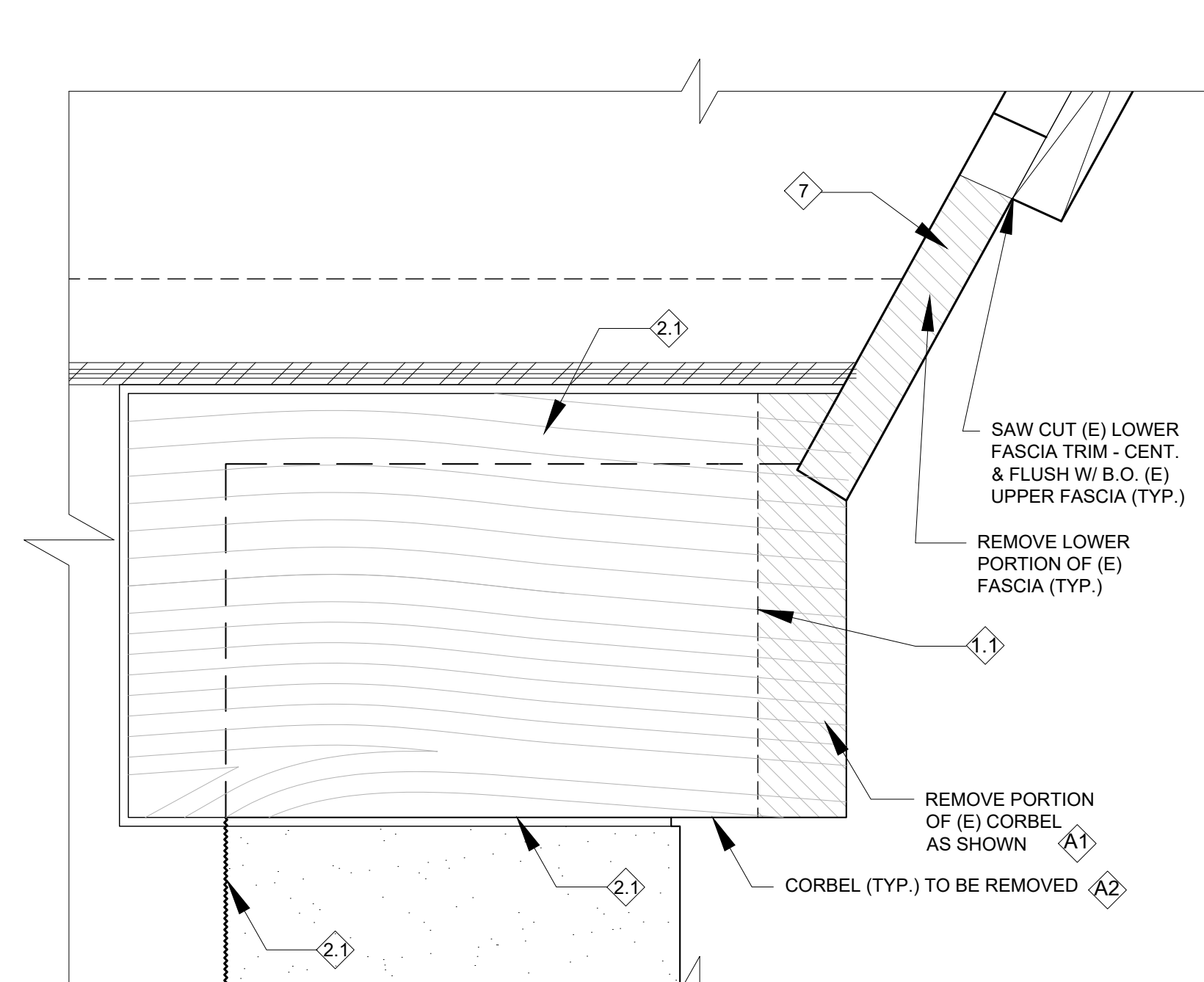
1. PTD. GSM FLASHING CAP. MIN 22 GA., SOLDER ALL JOINTS (TYP.) - SEE 10/A8.01
2. BACKER ROD @ JT LARGER THAN 3/4" (TYP.)
3. CARE SHALL BE TAKEN TO ALLOW (E) PAPER TO REMAIN
4. SEALANT JT-CONT @ CORBEL (TYP.) - SEAL @ ALL SIDES/JOINTS USE BACKER ROD IF DEEPER THAN 3/4"
5. (2) #3 SS. WD. SCREWS @ 16" O.C. - ATTACH TO (E) FRAMING, COUNTERSINK, PUTTY, AND SAND FLUSH (TYP.) EMBED 1-1/2" MIN.
6. NEW PTD. 2X TO MATCH (E) FASCIA ATTACH TO (E) FRAMING - FILL, PATCH AND PAINT

SHEET NOTES A1 - REPAIR

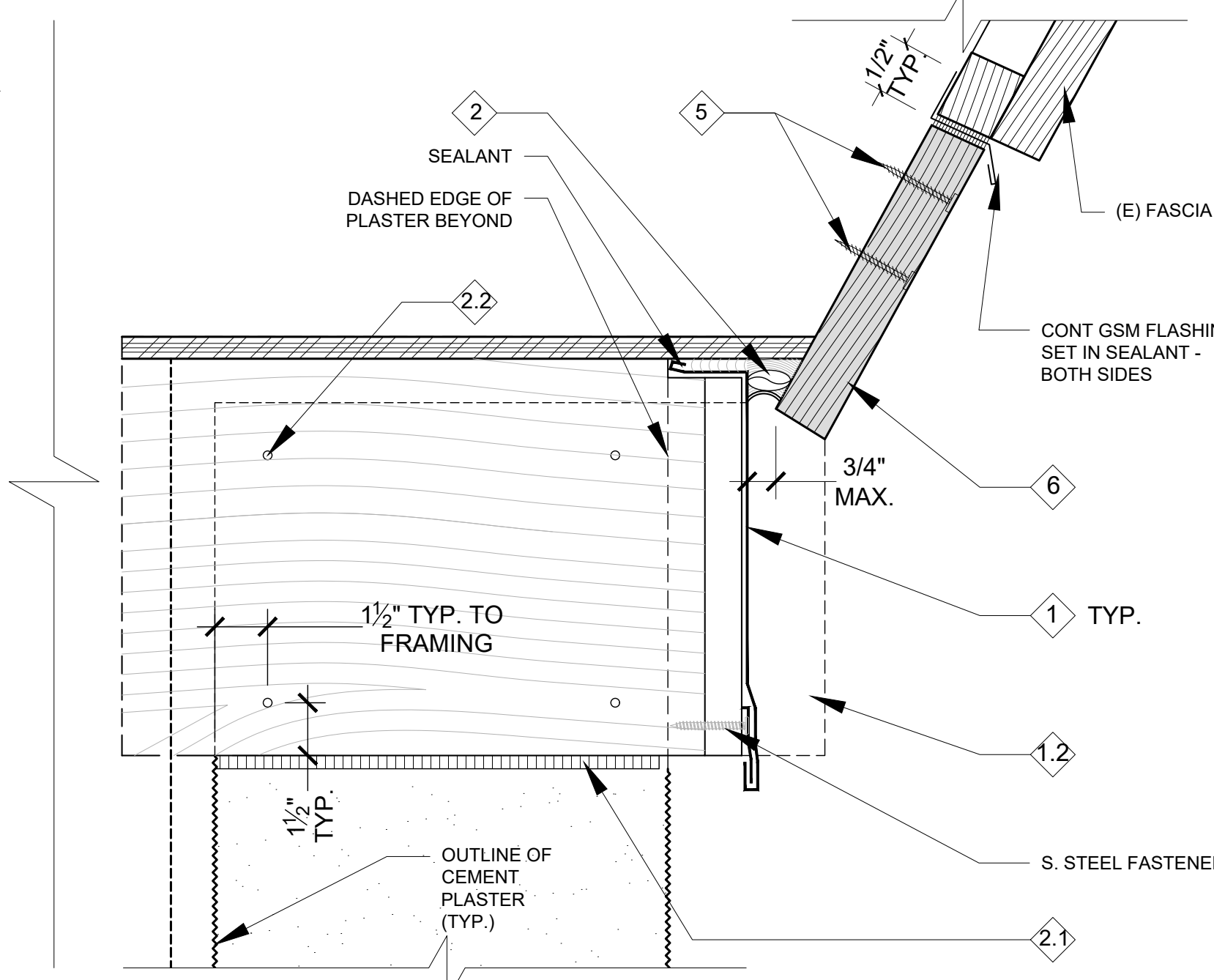
- 1.1 TYP. CORBEL NOT TO BE REMOVED; DASHED LINE INDICATES APPROXIMATE LINE OF TRIM (E) CORBEL - SHALL MATCH CORBELS TO BE REPLACED (TYP.)
- 1.2 DASHED OUTLINE OF (E) CORBEL TO BE REMOVED

SHEET NOTES A2 - REPLACEMENT

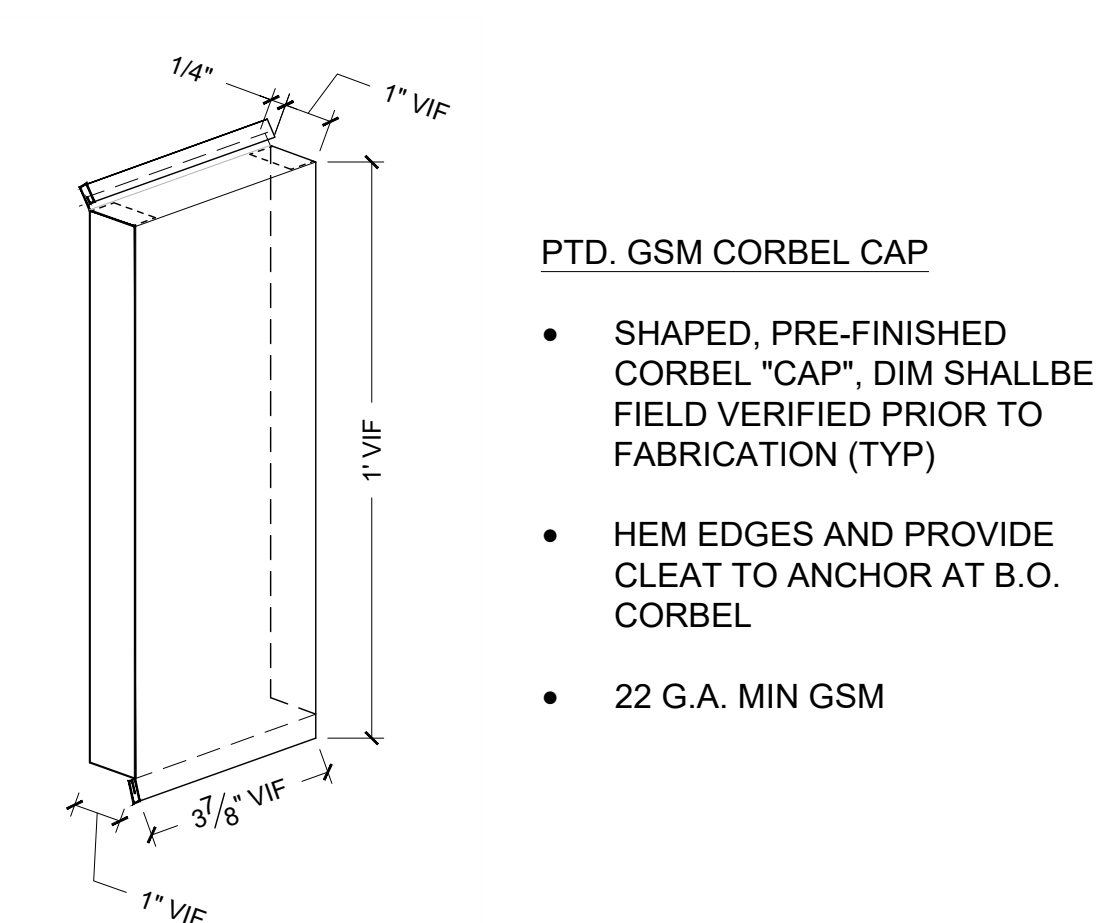
- 2.1 BREAK BOND W/ (E) CEMENT PLASTER, PREP TO RE-SEALANT (TYP.) CONT. SEALANTS BED AT ALL JOINTS (TYP.)
- 2.2 EMBED FASTENER 2" MIN INTO (E) STRUCTURE - COUNTER SINK, PLUG AND PREP FOR PAINT (TYP.)



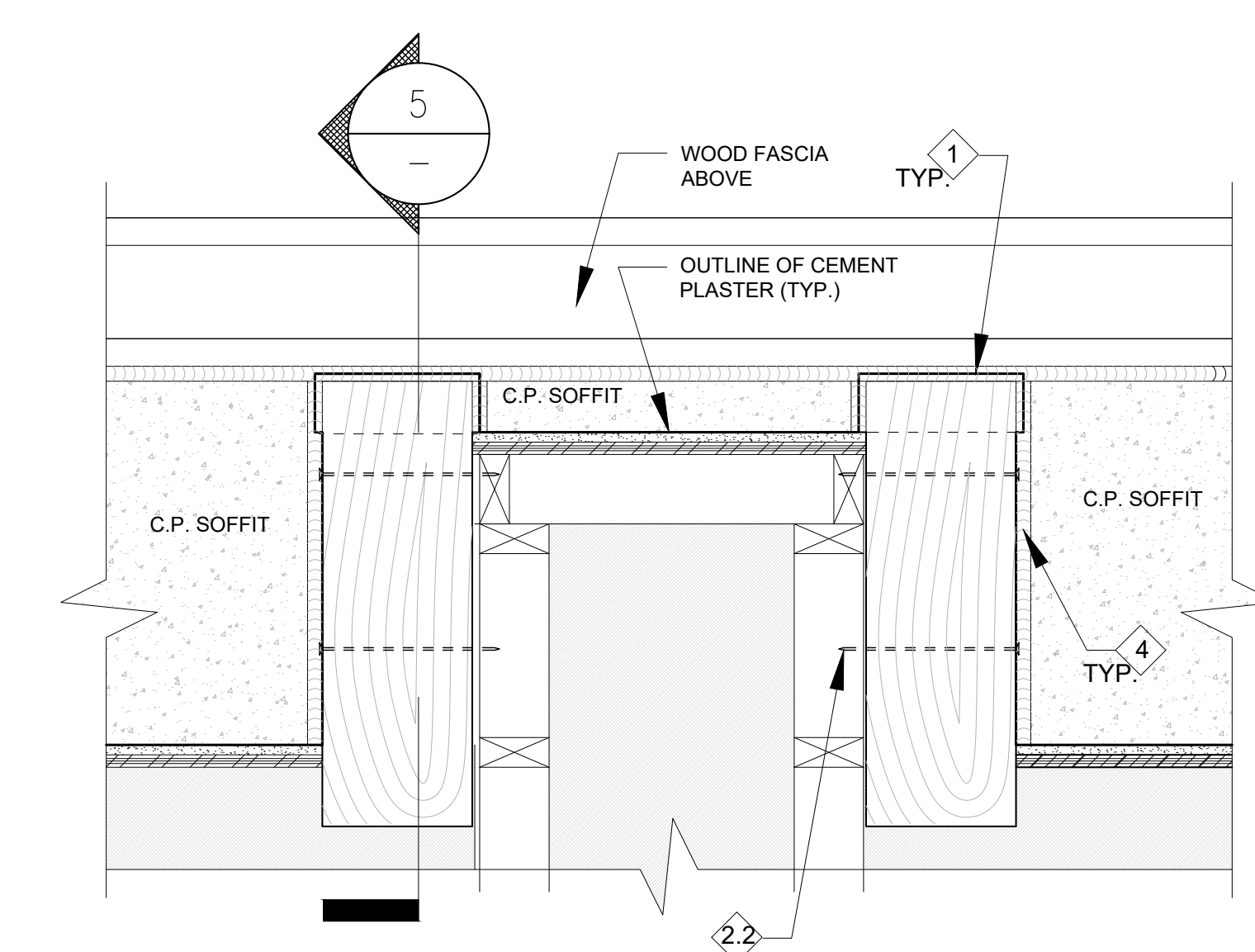
8 DEMO @ (E) BEAM/FASCIA - TYPE A (SEE 5/- FOR PROPOSED)
 SCALE: 3" = 1' - 0"



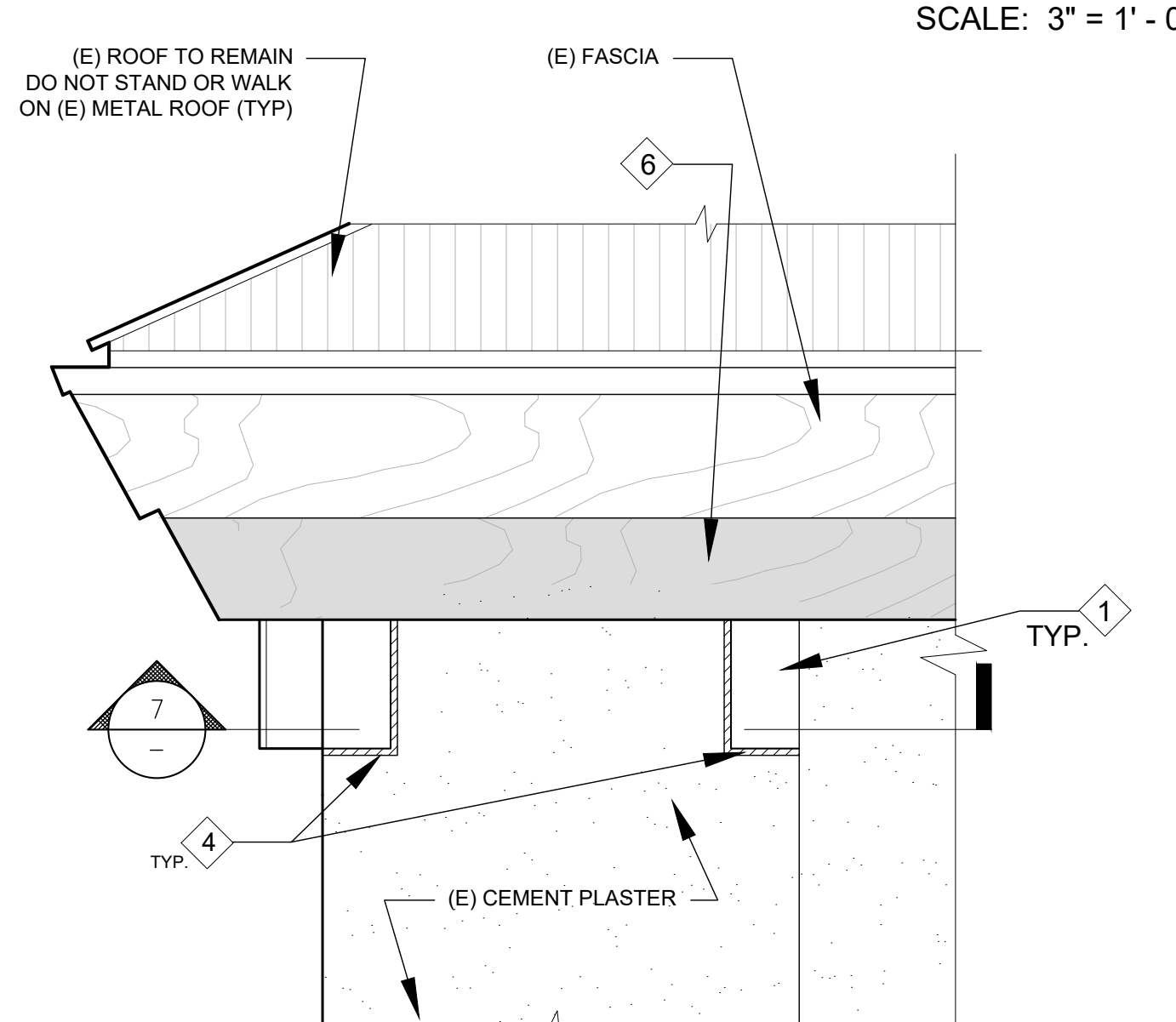
5 ELEVATION/SECTION @ UPPER FASCIA (TYP.) - TYPE A
 SCALE: 3" = 1' - 0"



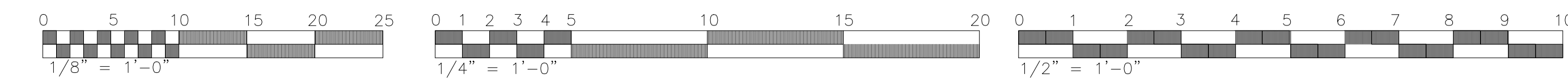
10 CORBEL CAP FLASHING DETAIL (TYP)
 SCALE: 3" = 1' - 0"

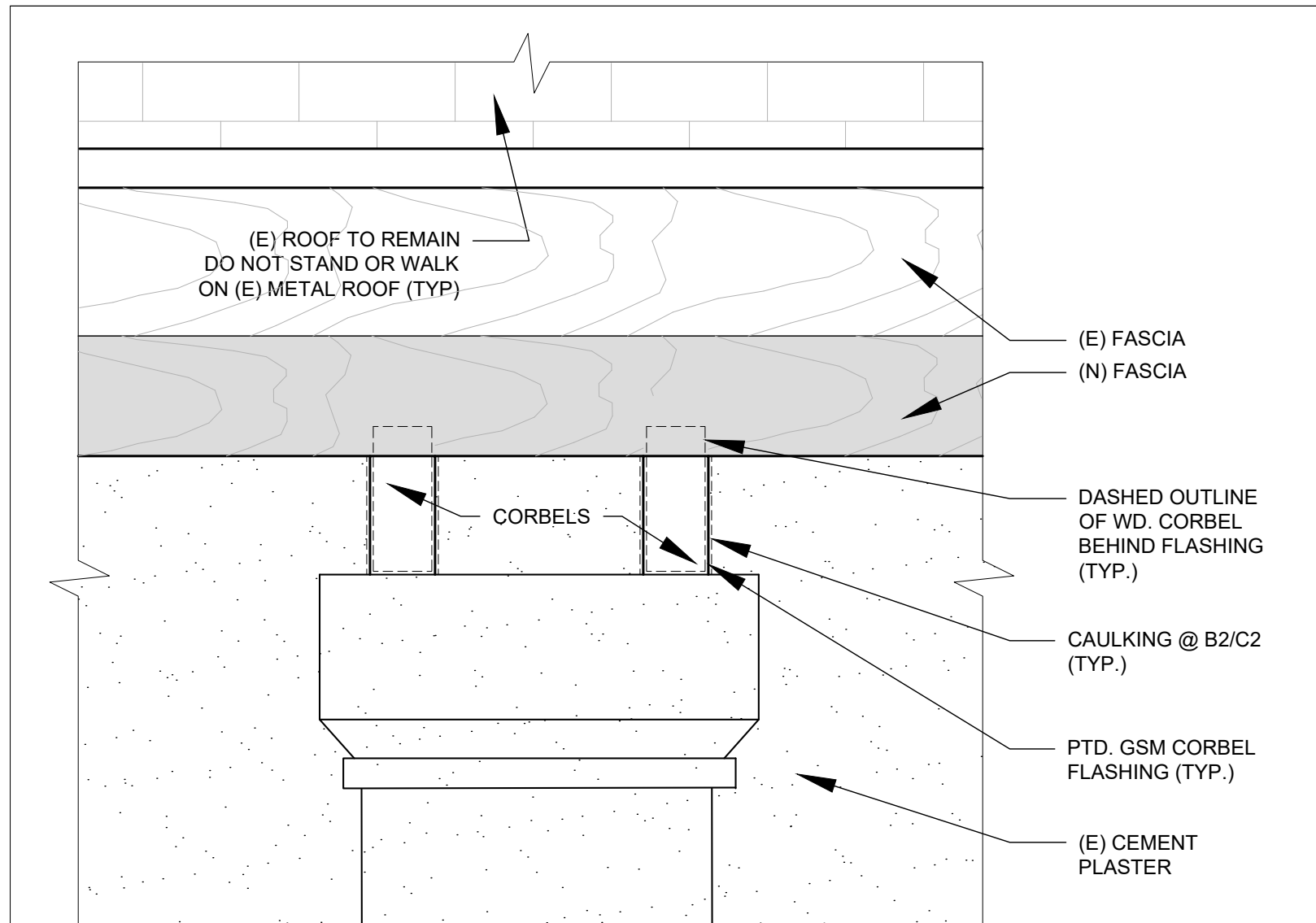


7 SECTION @ CORBELS FROM BELOW
 SCALE: 1-1/2" = 1' - 0"



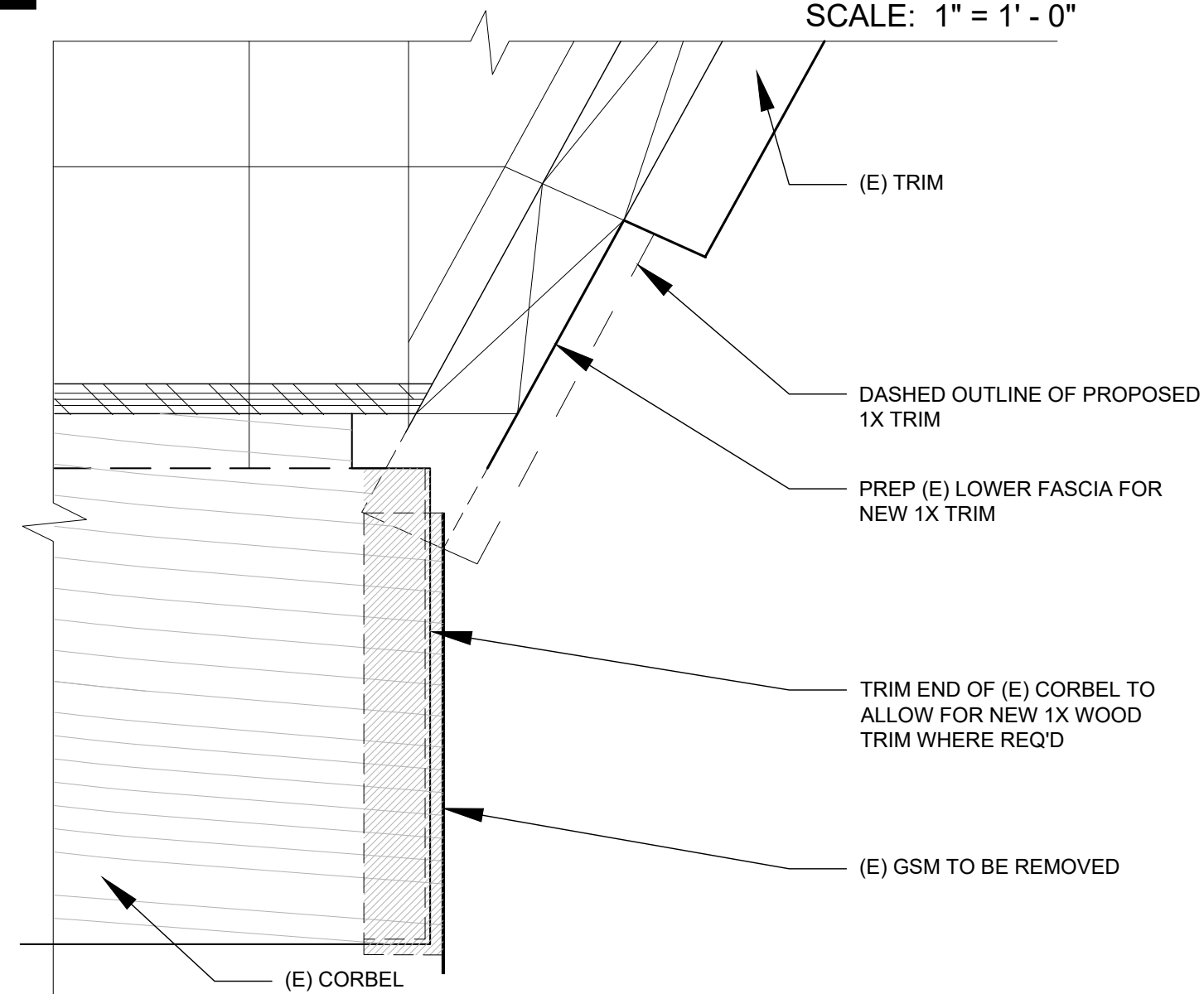
4 ELEVATION @ TYPE-A CORBEL (TYP)
 SCALE: 1" = 1' - 0"





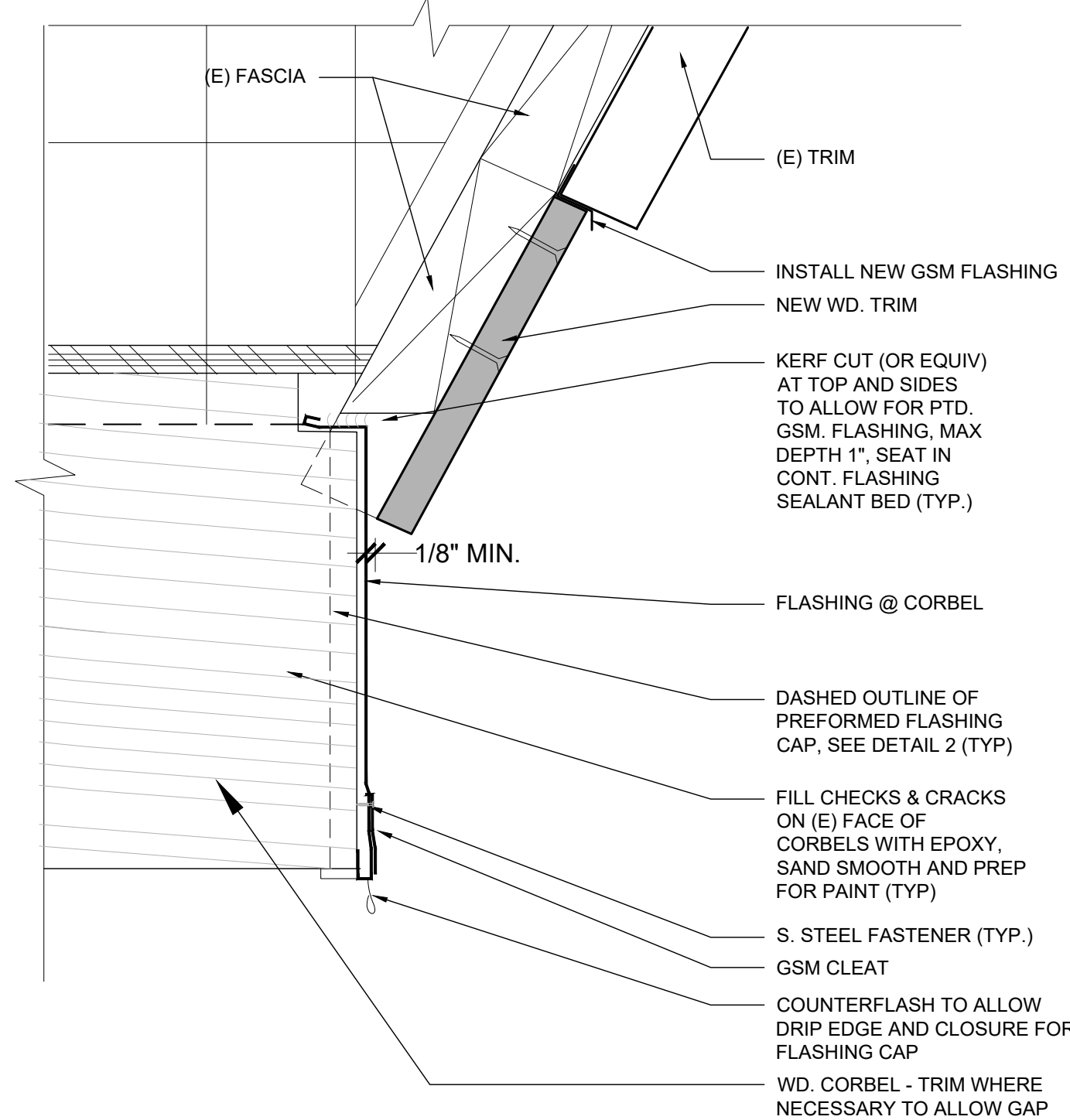
12 ELEVATION @ TYPE-B/C CORBEL (TYP)

SCALE: 1" = 1' - 0"



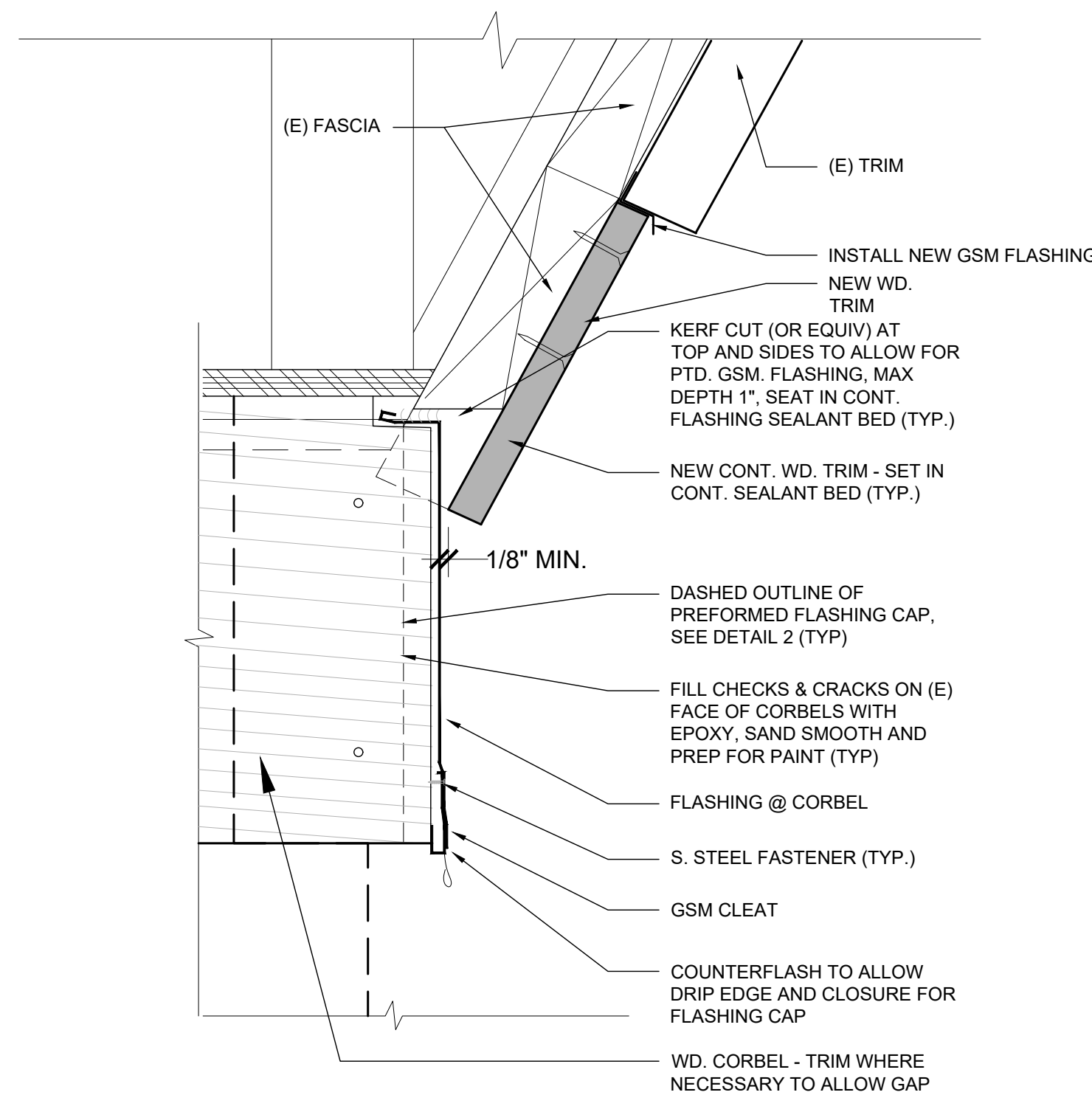
12 DEMO (E) FASCIA SECTION @ TYPE B2/C2 (TYP.)

SCALE: 3" = 1' - 0"



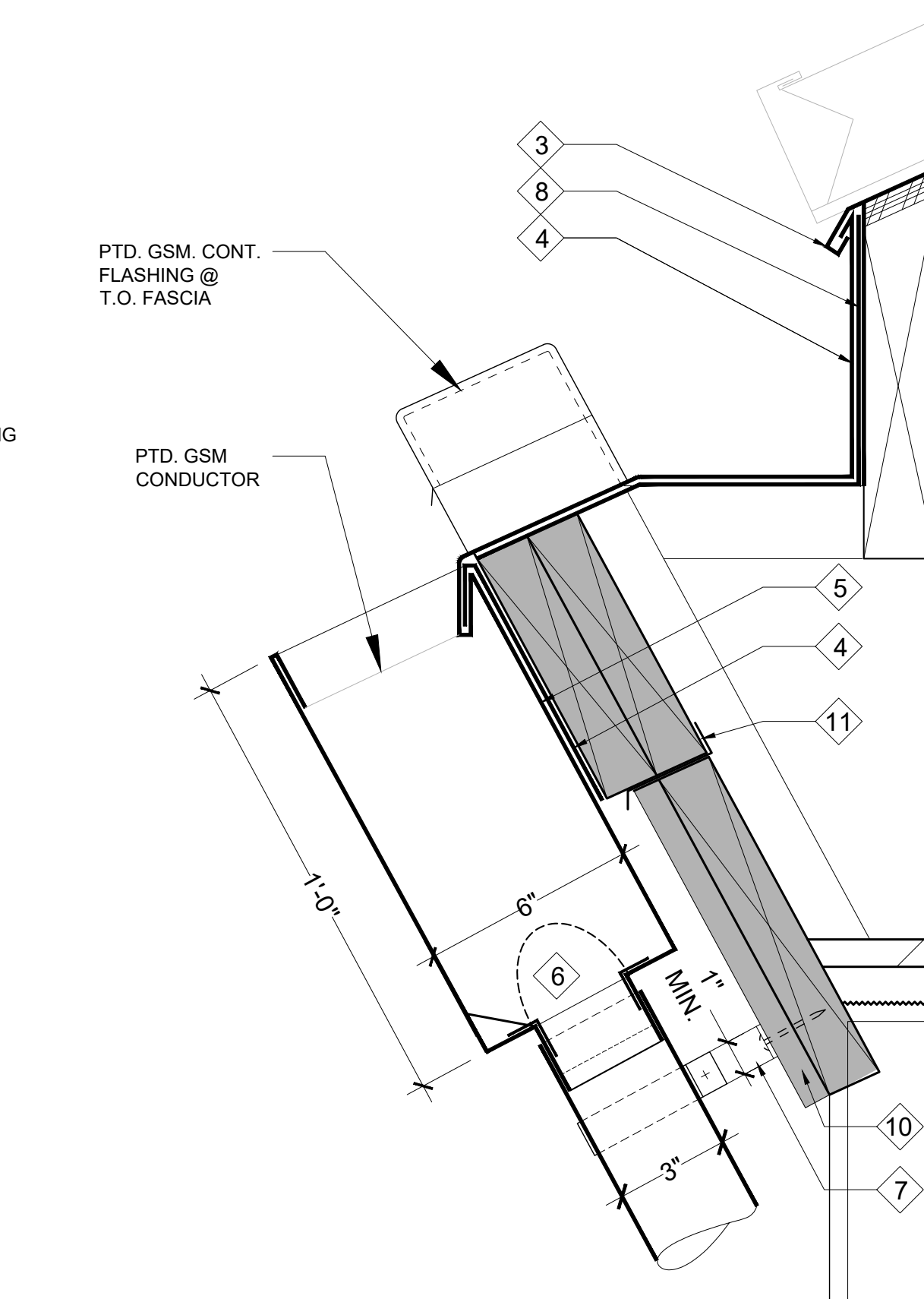
10 SECTION DETAIL @ TYPE-B/C CORBEL (TYP)

SCALE: 3" = 1' - 0"



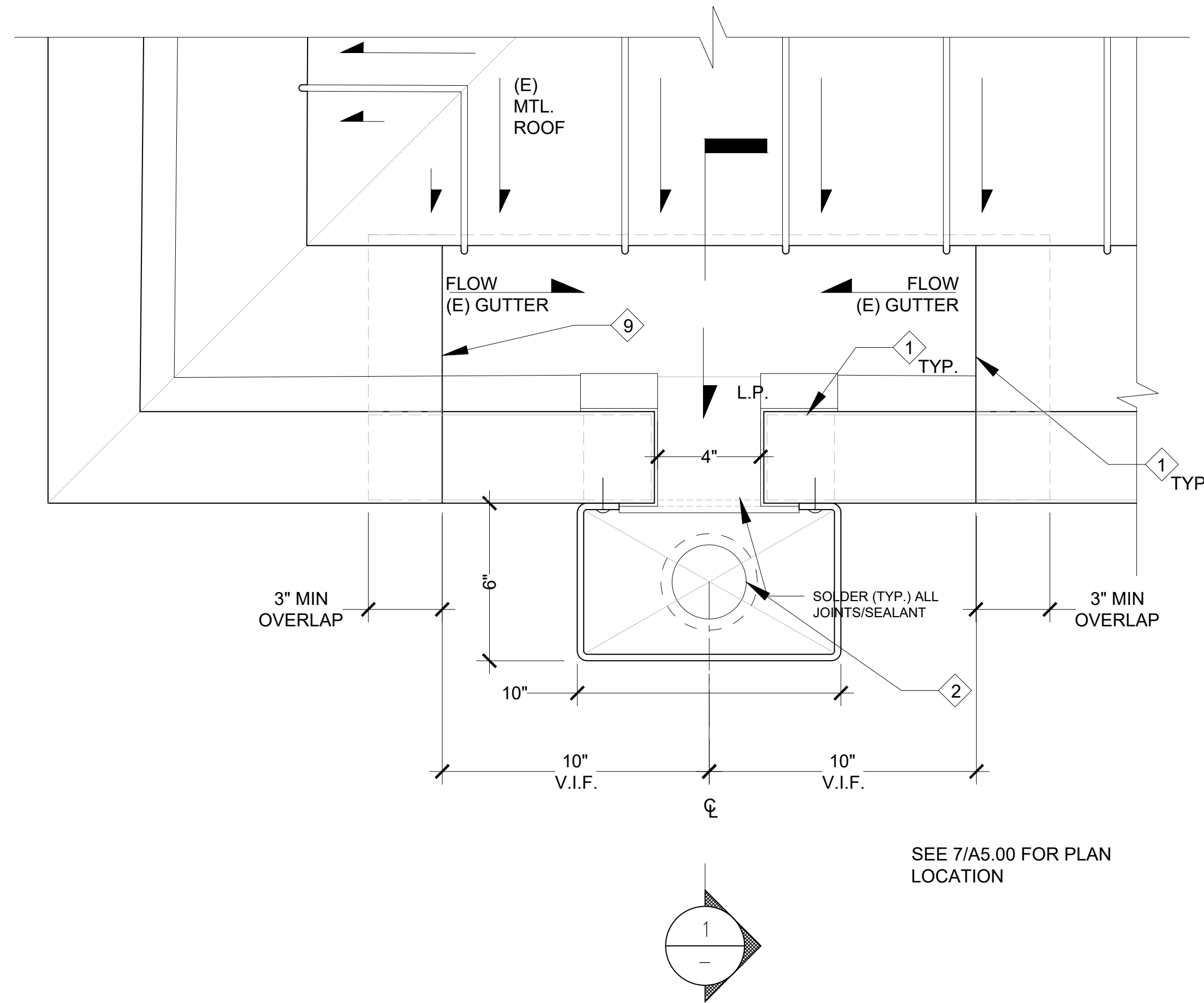
7 SECTION DETAIL @ TYPE-B/C CORBEL (TYP)

SCALE: 3" = 1' - 0"



1 CONDUCTOR @ B-TYPE CORBEL (TYP.)

SCALE: 1-1/2" = 1' - 0"



6 PLAN @ CONDUCTOR

SCALE: 3" = 1' - 0"

SHEET LEGEND

- 1 SOLDER ALL EDGES & LAP JOINTS (TYP.)
- 2 4" DIA. MIN CONNECTION @ RAIN LEADER. SOLDER ALL JOINTS/EDGES TYP.
- 3 INSPECT AND CONFIRM (E) ROOF FLASHING WILL ALLOW NEW GSM GUTTER FLASHING TO BE INSTALLED PRIOR TO START OF DEMOLITION
- 4 PROVIDE CONT FLASHING MEMBRANE AT NEW GSM GUTTER AND FASCIA - COVERED BY CONDUCTOR
- 5 PTD GSM CONDUCTOR - SOLDER ALL POINTS (TYP.), PROVIDE FOR POSITIVE DRAINAGE WITH NO STANDING WATER
- 6 PROVIDE S.S. STRAINER
- 7 PROVIDE PTD. GSM SUPPORTS AT EXT. RAIN LEADER. SEE A5.00
- 8 PTD. GSM GUTTER - FORMED TO MATCH (E) - LAP/SOLDER ALL JOINTS, PROVIDE POSITIVE FLOW TO L.P. @ CONDUCTOR (TYP.)
- 9 CUT/REMOVE OF (E) GSM GUTTER. ALLOW FOR NEW GUTTER TO LAP UNDER. SOLDER ALL JOINTS (TYP.)
- 10 INSTALL NEW 1X WD. TRIM
- 11 INSTALL NEW GSM FLASHING

FOR CORBEL REPLAC E B2 AND C2, SEE SHEET

NOTES 2.1 AND 2.2 /A8.01 AND DETAILS 4, 5, AND

7/A8.01 FOR SIM. DETAILS AND CONDITIONS

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ARCHITECT:

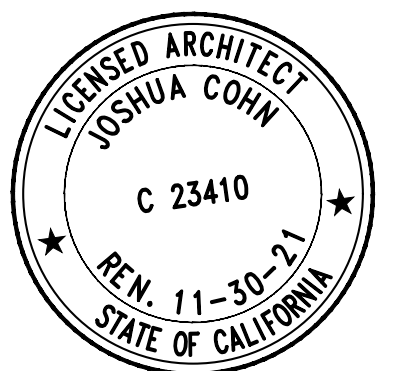
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EXT. DETAILS @
CORBEL TYPE B
A8.02

