

## ADDENDUM TO THE CONTRACT DOCUMENTS

	ADDENDUM NO. 001
	Project: Solano Community College District Fairfield Campus Building Exteriors Project Phase 2 Project Number: 22-002
	Date: July 12, 2021

**Addendum No. 001 – The following clarifications are provided and must be added/considered when completing your bid:** Acknowledgement of receipt of this **Addendum No. 001**, is required on the Bid Form. Please clearly note the addendum date and number.

### **ITEM NO. 1 – GENERAL INFORMATION**

- 1.1. NOTICE TO BIDDERS, SPECIFICATION SECTION 00 11 16
  - Replacement of previously issued Specification Section 00 11 16 in its entirety with the version attached to this Addendum.
  
- 1.2. SUMMARY OF WORK, SPECIFICATION SECTION 01 11 00
  - Replacement of previously issued Specification Section 01 11 00 in its entirety with the version attached to this Addendum.
  
- 1.3. BID FORM AND PROPOSAL, SPECIFICATION SECTION 00 41 13
  - Replacement of previously issued Specification Section 00 41 13 in its entirety with the version attached to this Addendum.
  
  - Alternate #1 Elastomeric Paint. Description: In lieu of providing the paint specified in Section 09 90 00, provide manufacturers elastomeric paint for the entire project. Two coats of Elastomeric Paint should be provided. Install per manufacturer’s recommendations for proper mill thickness over the different finishes. All colors shall remain as noted on drawings.
    - Kelley Moore - Acrylic Elastomeric: 1119,
    - Sherwin Williams- Uniflex Commercial Grade Elastomeric
  
  - Addition of Alternate #3 Painting of Pool Complex Wall. See Item 2.6 below for full description.
  - Alternate for the Painting of existing Mansard Roofs was deleted.
  - Previously included alternates were renumbered after changes noted above.

**1.4. PAINTING AND COATING, SPECIFICATION SECTION 09 90 00**

- Replacement of previously issued Specification Section 09 90 00 in its entirety with the version attached to this Addendum.

**1.5. PROJECT DRAWINGS**

- Replacement of previously issued Project Drawings in their entirety with the Project Drawings attached to this Addendum.

**1.6. SITE VISIT, PARKING PERMIT**

- Parking Permits will be required during the bidding phase. Parking Permits can be purchased at all parking lots or a free permit can be picked up from the Kitchell Bond Office Building 1102. Parking Permits will be provided by the District during the construction phase.

**1.7. REMOVAL OF EXISTING NUMBERING**

- All building identification numbers shall be removed within the scope of this project, patch the surface it was attached (stucco patch or other applicable patch for area), prep area to remove any shadowing of previous sign, and paint.

**1.8. DISTRICT STANDARDS**

- The College District has standardized on Kelley Moore and Sherwin Williams paints. No other manufacturer will be acceptable. When using this manufacturer, the contractor may color match the colors specified to sole source the manufacturer providing the paint.

**1.9. HAZARDOUS MATERIALS**

- This contract includes preparation of Hazardous Materials, prior to painting. The contractor shall be required to have the proper certifications and follow all mandated regulations for prepping the buildings accordingly. The District's intent is to encapsulate the hazardous material in compliance, as allowed, by current regulations.

**ITEM NO. 2 – DRAWINGS**

**2.1. DRAWINGS SHEET A1. SHEET NOTES**

Clarification: These Sheet Notes apply to all buildings that are part of the scope of work. All previously painted surfaces shall be painted. Do not paint any previously painted surfaces that were completed in phase one; prefinished metal panels or

associated prefinished trim, identification signage, fire alarm system devices, etc. See specifications section 09 90 00 for further information.

**2.2. SHEET A6, DETAILS 1 & 4, BUILDING IDENTIFICATION SIGNAGE**

Building Identification signage has been completed in phase 1. No new signage will be required for Phase 2.

**2.3. BLDG 500 & 600 CANOPY**

Building 500 & 600 Canopy was completed in Phase 1. No work to this canopy will be required in Phase 2.

**2.4. BLDG 1400 STEEL CANOPIES**

The steel canopies and columns, beams, etc. attached to building 1400 at the ATM's and loading dock shall be cleaned, prepped, primed and painted. COLOR – GREY. Do not paint the bronze aluminum wind screens or translucent panels.

**2.5. BLDG 1600 WOOD CANOPY AND COLUMNS**

The contractor shall clean, prime, prep and paint covered wood canopy around Building 1600. This canopy has been heavily weathered. The contractor shall include in his bid additional prep to scrape canopy and prep prior to painting. Painting shall include the painted portion of the existing concrete columns. A site visit is highly recommended. The District DOES NOT intend to replace this canopy, or parts of the canopy, at this time. COLOR – GREY.

**2.6. BLDG 1700A & 1700B - Clarification**

The steel canopies and columns, beams, etc. attached to building 1700A and 1700B shall be cleaned, prepped, primed and painted. COLOR – GREY. Do not paint the translucent panels.

Hollow Metal Doors and Frames – Clean, prep, prime and paint all hollow metal doors and frames on these buildings. COLOR – TBD

Pool Wall - Clean, prep, prime and paint both sides of the stucco wall and columns that surround the pool. This shall include the steel columns on the wall with the translucent panels. Do not paint translucent panels or the concrete stem wall. Power was concrete stem wall. COLOR – TBD. The contractor shall price a two color wall for this work.

## 2.7. SOCCER FIELD WALL

The concrete wall at the soccer field (East side of field) shall be cleaned, prepped, primed and painted, both sides. COLOR – Solano Blue

### **ITEM NO. 3 – RESPONSES TO QUESTIONS SUBMITTED**

#### **3.1. Question No. 01**

Question: Were the dates in the Notice to Bidders within the Specs going to be updated?

*Response: See updated Notice to Bidders attached to Addendum 001.*

#### **3.2. Question No. 02**

Question: Was information in the Sheet Notes (within the plans) going to be updated it currently conflicts with the specs?

*Response: See Addendum 001 for scope of work clarifications.*

#### **3.3. Question No. 03**

Question: May I ask what is the engineered estimate on this project?

*Response: Construction Estimate for the project is \$550,000.*

#### **3.4. Question No. 04**

Question: Will there be a prequal required to bid projects for the district?

*Response: Prequalification is not required to bid this project.*

#### **List of Attachments:**

- Specification Section: 00 11 16 Notice to Bidders
- Specification Section: 00 41 13 Bid Form and Proposal
- Specification Section: 01 11 00 Summary of work
- Specification Section: 09 90 Painting and Coatings
- Project Drawings – Phase 2

END OF DOCUMENT

DOCUMENT 00 11 16

**NOTICE TO BIDDERS**

1. Notice is hereby given that the governing board ("Board") of the Solano Community College District ("District") will receive sealed bids for the following project, **Fairfield Campus Building Exteriors Project Phase 2, Project No. 22-002**, ("Project" or "Contract"):
  
2. The Project scope of work includes, all labor, materials, equipment, and supplies necessary for the completion of the entire Phase 2 scope of work as outlined in the contract documents, including, but is not limited to:
  - In general, the Work consists of the complete exterior painting of select buildings on the Fairfield campus as outlined below.
  - Typical Scope: Includes power washing, grit and dirt removal, removal of any adhesives on any applicable painting surfaces, and surface preparation as recommended by primer and paint manufacturer. Includes all prepping, minor sanding, crack or surface fillers where needed. Painting of exterior walls, fascia, face and underside of overhangs, utility pipes and pipe supports, window frames, door frames, and exterior face and exposed sides of exterior doors, and furnishing. Back-rolling of all painted surfaces is required after every coat. All necessary scaffolding, lifts, or ladders will need to be provided by the contractor. All dimensions and quantities of surface areas to be verified in the field by contractor. Contractor is required to maintain safe all staff and student access to campus facilities. Contractor is required to keep areas free of over-spray, trip and fall hazards, and the like.
  - Contractor is required to return all landscaping to original conditions as it was found prior to paint production taking place. If scaffolding structures, lifts, or general construction activity damage existing conditions, these areas or items will need to be repaired by the contractor, at the contractor's expense. All overspray will need to be removed from adjacent surfaces including landscaping.
  - Contractor will be required to temporarily relocate all moveable objects away from surfaces being painted. These items will need to be returned to their original locations after work is completed.
  - Building 100: No Work.
  - Building 200: No Work.
  - Building 300: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1.

- Building 300A: No Work.
- Building 300B: No Work.
- Building 400: No Work.
- Building 500: No Work.
- Building 600: No Work.
- Building 700: No Work.
- Building 800: No Work.
- Building 900: No Work.
- Building 1000: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- Building 1102: No Work.
- Building 1103: No Work.
- Building 1200: No Work.
- Building 1300: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- Building 1400: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior metal roof canopies. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- Building 1500: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- Building 1600: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior wood roof canopy. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1

- Building 1700: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Paint scope includes raised roof area at second level. Painting of exterior metal roof canopies. No logo work included in Phase 2. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
  - Building 1700B: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior metal roof canopies. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
  - Building 1800: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
  - Building 1800B: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
  - Building 1900: No Work.
  - Building 2600: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required.
  - Building 2700: No Work.
  - Soccer Field Kicking Wall: Paint existing wall on both sides.
  - The scope of work for this project is further defined in the Contract Documents. The Contractor will provide and install all security fencing as needed, safety barriers, portable toilets, and debris bins per the contract specifications. All campus pedestrian access shall be maintained and existing buildings shall remain functional during the duration of the project. Entrances into all buildings must be maintained accessible to Students and Staff at all times.
3. To bid on this Project, the Bidder is required to possess one or more of the following State of California contractor license(s):

**C-33: Painting and Decorating Contractor**

The Bidder's license(s) must remain active and in good standing throughout the term of the Contract.

4. To bid on this Project, the Bidder is required to be registered as a public works contractor with the Department of Industrial Relations pursuant to the Labor Code. The Bidder's and subcontractor's registrations must remain active throughout the term of the Contract.

5. Contract Documents will be available on or after July 7<sup>th</sup>, 2021. Documents can be viewed and downloaded on the Solano College District's website at:

<http://www.solano.edu/measureq/vendor.php>

6. Sealed Formal Bids will be received until **2:00 p.m., Wednesday, August 4<sup>th</sup>, 2021, at Solano Community College, 4000 Suisun Valley Road, Fairfield, California 94534, Building 1102, Kitchell Trailer**, at or after which time bids will be opened and publicly read aloud. Any bid that is submitted after this time shall be non-responsive and returned to the bidder. Any claim by a bidder of error in its bid must be made in compliance with section 5100 et seq. of the Public Contract Code.

If mailing, the District suggests delivery one day prior to bid date to allow for sufficient time for receiving, processing and delivery to the appropriate department. **It is each bidder's sole responsibility to ensure its bid is delivered timely and received at the location designated as specified. The District will not be responsible for errors in delivery under any circumstance. Any bid received at the designated location after the scheduled closing time for receipt of bids shall be returned to the bidder unopened.**

Bidders choosing to mail bids shall send them to;  
Attn: Noe Ramos, Kitchell  
Fairfield Campus Building Exteriors Project Phase 2, Project # 22-002  
4000 Suisun Valley Road, Building 1102 (Kitchell Bond Office)  
Fairfield, CA 94534

**Due to the impacts of COVID-19, an in-person Bid Opening will not be held. The Bid Opening will be conducted in the District's Board Room and will be live streamed over the internet. This will take place at approximately thirty minutes after bids are due. Potential bidders can view the live opening on the District's website on the following link:**

<https://welcome.solano.edu/liveevents/>

7. All pre-bid questions must be submitted in writing to the Project Manager, Noe Ramos, Kitchell, at [noe.ramos@solano.edu](mailto:noe.ramos@solano.edu) . **Pre-bid questions must be submitted on or before 2:00p.m., Thursday, July 22<sup>nd</sup>, 2021.**

8. All bids shall be on the form provided by the District. Each bid must conform and be responsive to all pertinent Contract Documents, including, but not limited to, the Instructions to Bidders.

9. A bid bond by an admitted surety insurer on the form provided by the District, cash, or a cashier's check or a certified check, drawn to the order of the Solano Community College District, in the amount of ten percent (10%) of the total bid

price, shall accompany the Bid Form and Proposal, as a guarantee that the Bidder will, within seven (7) calendar days after the date of the Notice of Award, enter into a contract with the District for the performance of the services as stipulated in the bid.

10. **One Virtual Mandatory Pre-Bid Conference (via Microsoft Teams)** will be held on **Thursday, July 15<sup>th</sup>, 2021, at 11:00 a.m.** All interested parties must send a request to participate to [Noe.Ramos@solano.edu](mailto:Noe.Ramos@solano.edu). Independent Site-Visits must also be conducted by potential bidders during the bidding period.

All participants are encouraged to sign-up for the free Microsoft Teams application prior to the meeting <https://www.microsoft.com/en-us/microsoft-teams/group-chat-software> . Failure to attend or tardiness will render bidder ineligible.

11. The successful Bidder shall be required to furnish a 100% Performance Bond and a 100% Payment Bond if it is awarded the contract for the Work.
12. The successful Bidder may substitute securities for any monies withheld by the District to ensure performance under the Contract, in accordance with the provisions of section 22300 of the Public Contract Code.
13. The Contractor and all Subcontractors under the Contractor shall pay all workers on all work performed pursuant to this Contract not less than the general prevailing rate of per diem wages and the general prevailing rate for holiday and overtime work as determined by the Director of the Department of Industrial Relations, State of California, for the type of work performed and the locality in which the work is to be performed within the boundaries of the District, pursuant to section 1770 et seq. of the California Labor Code. Prevailing wage rates are also available from the District or on the Internet at: <<http://www.dir.ca.gov>>.
14. This Project is subject to labor compliance monitoring and enforcement by the Department of Industrial Relations pursuant to Labor Code section 1771.4 and subject to the requirements of Title 8 of the California Code of Regulations. The Contractor and all Subcontractors under the Contractor shall furnish electronic certified payroll records directly to the Labor Commissioner weekly and within ten (10) days of any request by the District or the Labor Commissioner. The successful Bidder shall comply with all requirements of Division 2, Part 7, Chapter 1, Articles 1-5 of the Labor Code.
15. The District shall award the Contract, if it awards it at all, to the lowest responsive responsible bidder based on:
- A. The Base Bid Amount only.
16. The Board reserves the right to reject any and all bids and/or waive any irregularity in any bid received. If the District awards the Contract, the security of unsuccessful bidder(s) shall be returned within sixty (60) days from the time the award is made. Unless otherwise required by law, no bidder may withdraw its bid for ninety (90) days after the date of the bid opening.

END OF DOCUMENT

DOCUMENT 00 41 13  
**BID FORM AND PROPOSAL**

To: Solano Community College District ("District" or "Owner")

From: \_\_\_\_\_  
(Proper Name of Bidder)

The undersigned declares that Bidder has read and understands the Contract Documents, including, without limitation, the Notice to Bidders and the Instructions to Bidders, and agrees and proposes to furnish all necessary labor, materials, and equipment to perform and furnish all work in accordance with the terms and conditions of the Contract Documents, including, without limitation, the Drawings and Specifications of **Bid No. 22-002**,

PROJECT: **Fairfield Campus Building Exteriors Project Phase 2**

("Project" or "Contract") and will accept in full payment for that Work the following total lump sum amount, all taxes included:

_____	dollars	\$ _____
<b><i>BASE BID AMOUNT</i></b>		
_____	dollars	\$ _____
<b><i>10% OWNER'S ALLOWANCE OF BASE BID AMOUNT</i></b>		
_____	dollars	\$ _____
<b><i>TOTAL BID AMOUNT (CUMULATIVE TOTAL OF BASE BID AMOUNT AND 10% OWNER'S ALLOWANCE)</i></b>		

**ADDITIVE / DEDUCTIVE ALTERNATES:**

**ALTERNATE #1**

_____	dollars	\$ _____
<b><i>ADDITIVE / DEDUCTIVE</i></b>		
<b><i>PROVIDE AND INSTALL ALL PAINT AS ELASTOMERIC PAINT</i></b>		

**ALTERNATE #2**

_____ dollars    \$ _____
<b><i>ADDITIVE / DEDUCTIVE</i></b>
<b><i>POWER WASH ALL MANSARD ROOFS FOR PHASE 2 BUILDINGS</i></b>

**ALTERNATE #3**

_____ dollars    \$ _____
<b><i>ADDITIVE / DEDUCTIVE</i></b>
<b><i>PAINT POOL COMPLEX PERIMETER WALL USING ELASTOMERIC PAINT. PERIMETER WALL TO BE PAINTED ON BOTH SIDES.</i></b>

Descriptions of alternates are primarily scope definitions and do not necessarily detail the full range of materials and processes needed to complete the construction.

**Additional Detail Regarding Calculation of Base Bid**

1. Owner's Allowance. The Bidder's Base Bid shall include a ten percent (10%) allowance for the owner's use. Do not include alternates when calculating Allowance Amount.

The above allowance shall only be used by authorization by the Owner. Contractor shall not bill for or be due any portion of this allowance unless the District has identified specific work, Contractor has submitted a price for that work or the District has proposed a price for that work, the District has accepted the cost for that work, and the District has prepared a change order incorporating that work. Contractor hereby authorizes the District to execute a unilateral deductive change order at or near the end of the Project for all or any portion of the allowance not allocated.

2. The undersigned has reviewed the Work outlined in the Contract Documents and fully understands the scope of Work required in this Proposal, understands the construction and project management function(s) is described in the Contract Documents, and that each Bidder who is awarded a contract shall be in fact a prime contractor, not a subcontractor, to the District, and agrees that its Proposal, if accepted by the District, will be the basis for the Bidder to enter into a contract with the District in accordance with the intent of the Contract Documents.
3. The undersigned has notified the District in writing of any discrepancies or omissions or of any doubt, questions, or ambiguities about the meaning of any of the Contract

Documents, and has contacted the Construction Manager before bid date to verify the issuance of any clarifying Addenda.

4. The undersigned agrees to commence work under this Contract on the date established in the Contract Documents and to complete all work within the time specified in the Contract Documents.
5. The liquidated damages clause of the General Conditions and Agreement is hereby acknowledged.
6. It is understood that the District reserves the right to reject this bid and that the bid shall remain open to acceptance and is irrevocable for a period of ninety (90) days.
7. The following documents are attached hereto:
  - Bid Bond on the District's form or other security. Specification Section 00 43 13
  - Designated Subcontractors List. Specification Section 00 43 36
  - Site Visit Certification. Specification Section 00 45 01
  - Non-Collusion Declaration. Specification Section 00 45 19
8. Receipt and acceptance of the following Addenda is hereby acknowledged:

No. _____, Dated _____	No. _____, Dated _____
No. _____, Dated _____	No. _____, Dated _____

9. Bidder acknowledges that the license required for performance of the Work is a;
 

**C-33: Paint and Decorating Contractor**
10. The undersigned hereby certifies that Bidder is able to furnish labor that can work in harmony with all other elements of labor employed or to be employed on the Work.
11. Bidder specifically acknowledges and understands that if it is awarded the Contract, that it shall perform the Work of the Project while complying with all requirements of the Department of Industrial Relations (DIR).
12. The Bidder represents that it is competent, knowledgeable, and has special skills with respect to the nature, extent, and inherent conditions of the Work to be performed. Bidder further acknowledges that there are certain peculiar and inherent conditions existent in the construction of the Work that may create, during the Work, unusual or peculiar unsafe conditions hazardous to persons and property.
13. Bidder expressly acknowledges that it is aware of such peculiar risks and that it has the skill and experience to foresee and to adopt protective measures to adequately and safely perform the Work with respect to such hazards.
14. Bidder expressly acknowledges that it is aware that if a false claim is knowingly

submitted (as the terms "claim" and "knowingly" are defined in the California False Claims Act, Gov. Code, § 12650 et seq.), the District will be entitled to civil remedies set forth in the California False Claim Act. It may also be considered fraud and the Contractor may be subject to criminal prosecution.

15. The undersigned Bidder certifies that it is, at the time of bidding, and shall be throughout the period of the Contract, licensed by the State of California to do the type of work required under the terms of the Contract Documents and registered as a public works contractor with the Department of Industrial Relations. Bidder further certifies that it is regularly engaged in the general class and type of work called for in the Contract Documents.

Furthermore, Bidder hereby certifies to the District that all representations, certifications, and statements made by Bidder, as set forth in this bid form, are true and correct and are made under penalty of perjury.

Dated this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_

Name of Bidder: \_\_\_\_\_

Type of Organization: \_\_\_\_\_

Signed by: \_\_\_\_\_

Title of Signer: \_\_\_\_\_

Address of Bidder: \_\_\_\_\_

Taxpayer Identification No. of Bidder: \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Fax Number: \_\_\_\_\_

E-mail: \_\_\_\_\_ Web Page: \_\_\_\_\_

Contractor's License No(s): No.: \_\_\_\_\_ Class: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

No.: \_\_\_\_\_ Class: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

No.: \_\_\_\_\_ Class: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Public Works Contractor Registration No.: \_\_\_\_\_

END OF DOCUMENT

DOCUMENT 01 11 00

**SUMMARY OF WORK**

**PART 1 - GENERAL**

**1.01 RELATED DOCUMENTS AND PROVISIONS**

All Contract Documents should be reviewed for applicable provisions related to the provisions in this document, including without limitation:

- A. General Conditions, including, without limitation, Site Access Conditions and Requirements;
- B. Special Conditions.

**1.02 SUMMARY OF WORK COVERED BY CONTRACT DOCUMENTS**

- A. The Project scope of work includes, all labor, materials, equipment, and supplies necessary for the completion of the entire Phase 2 scope of work as outlined in the contract documents, including, but is not limited to:
  - (1) In general, the Work consists of the complete exterior painting of select buildings on the Fairfield campus as outlined below.
  - (2) Typical Scope: Includes power washing, grit and dirt removal, removal of any adhesives on any applicable painting surfaces, and surface preparation as recommended by primer and paint manufacturer. Includes all prepping, minor sanding, crack or surface fillers where needed. Painting of exterior walls, fascia, face and underside of overhangs, utility pipes and pipe supports, window frames, door frames, and exterior face and exposed sides of exterior doors, and furnishing. Back-rolling of all painted surfaces is required after every coat. All necessary scaffolding, lifts, or ladders will need to be provided by the contractor. All dimensions and quantities of surface areas to be verified in the field by contractor. Contractor is required to maintain safe all staff and student access to campus facilities. Contractor is required to keep areas free of over-spray, trip and fall hazards, and the like.
  - (3) Contractor is required to return all landscaping to original conditions as it was found prior to paint production taking place. If scaffolding structures, lifts, or general construction activity damage existing conditions, these areas or items will need to be repaired by the contractor, at the contractor's expense. All overspray will need to be removed from adjacent surfaces including landscaping.
  - (4) Contractor will be required to temporarily relocate all moveable objects away from surfaces being painted. These items will need to be returned to their original locations after work is completed.

- (5) Building 100: No Work.
- (6) Building 200: No Work.
- (7) Building 300: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of buildings as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1.
- (8) Building 300A: No Work.
- (9) Building 300B: No Work.
- (10) Building 400: No Work.
- (11) Building 500: No Work.
- (12) Building 600: No Work.
- (13) Building 700: No Work.
- (14) Building 800: No Work.
- (15) Building 900: No Work.
- (16) Building 1000: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (17) Building 1102: No Work.
- (18) Building 1103: No Work.
- (19) Building 1200: No Work.
- (20) Building 1300: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (21) Building 1400: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior metal roof canopies. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1

- (22) Building 1500: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (23) Building 1600: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior wood roof canopy. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (24) Building 1700: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Paint scope includes raised roof area at second level. Painting of exterior metal roof canopies. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (25) Building 1700B: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. Painting of exterior metal roof canopies. No logo work included in Phase 2. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (26) Building 1800: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (27) Building 1800B: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required. AC1 work completed in Phase 1. Installation of Building Numbers completed in Phase 1
- (28) Building 1900: No Work.
- (29) Building 2600: All work as noted in the Contract Documents. Work includes but is not limited to painting entire exterior of building as shown in the drawings. Removal of existing building numbers, patching as required.
- (30) Building 2700: No Work.
- (31) Soccer Field Kicking Wall: Paint existing wall on both sides.

- (32) The scope of work for this project is further defined in the Contract Documents. The Contractor will provide and install all security fencing as needed, safety barriers, portable toilets, and debris bins per the contract specifications. All campus pedestrian access shall be maintained and existing buildings shall remain functional during the duration of the project. Entrances into all buildings must be maintained accessible to Students and Staff at all times.

B. Contracts:

- (1) Perform the Work under a single, fixed-price Contract.

**1.03 WORK BY OTHERS**

A. Work on the Project that will be performed and completed prior to the start of the Work of this Contract:

- (1) None identified.

B. Work on the Project that will be performed by others concurrent with the Work of this Contract:

- (1) None identified.

**1.04 CODES, REGULATIONS, AND STANDARDS**

A. The codes, regulations, and standards adopted by the state and federal agencies having jurisdiction shall govern minimum requirements for this Project. Where codes, regulations, and standards conflict with the Contract Documents, these conflicts shall be brought to the immediate attention of the District and the Architect.

B. Codes, regulations, and standards shall be as published effective as of date of bid opening, unless otherwise specified or indicated.

**1.05 PROJECT RECORD DOCUMENTS**

A. Contractor shall maintain on Site one set of the following record documents; Contractor shall record actual revisions to the Work:

- (1) Contract Drawings.
- (2) Specifications.
- (3) Addenda.
- (4) Change Orders and other modifications to the Contract.
- (5) Reviewed shop drawings, product data, and samples.
- (6) Field test records.

- (7) Inspection certificates.
- (8) Manufacturer's certificates.
- B. Contractor shall store Record Documents separate from documents used for construction. Provide files, racks, and secure storage for Record Documents and samples.
- C. Contractor shall record information concurrent with construction progress.
- D. Specifications: Contractor shall legibly mark and record at each product section of the Specifications the description of the actual product(s) installed, including the following:
  - (1) Manufacturer's name and product model and number.
  - (2) Product substitutions or alternates utilized.
  - (3) Changes made by Addenda and Change Orders and written directives.

#### **1.06 EXAMINATION OF EXISTING CONDITIONS**

- A. Contractor shall be held to have examined the Project Site and acquainted itself with the conditions of the Site and of the streets or roads approaching the Site.
- B. Prior to commencement of Work, Contractor shall survey the Site and existing buildings and improvements to observe existing damage and defects such as cracks, sags, broken, missing or damaged glazing, other building elements and Site improvements, and other damage.
- C. Should Contractor observe cracks, sags, and other damage to and defects of the Site and adjacent buildings, paving, and other items not indicated in the Contract Documents, Contractor shall immediately report same to the District and the Architect.

#### **1.07 CONTRACTOR'S USE OF PREMISES**

- A. If unoccupied and only with District's prior written approval, Contractor may use the building(s) at the Project Site without limitation for its operations, storage, and office facilities for the performance of the Work. If the District chooses to beneficially occupy any building(s), Contractor must obtain the District's written approval for Contractor's use of spaces and types of operations to be performed within the building(s) while so occupied. Contractor's access to the building(s) shall be limited to the areas indicated.
- B. If the space at the designated contractor staging areas is not sufficient for Contractor's operations, storage, office facilities and/or parking, Contractor shall arrange and pay for any additional facilities needed by Contractor.

- C. Contractor shall not interfere with use of or access to occupied portions of the building(s) or adjacent property.
- D. Contractor shall maintain corridors, stairs, halls, and other exit-ways of building clear and free of debris and obstructions at all times.
- E. No one other than those directly involved in the demolition and construction, or specifically designated by the District or the Architect shall be permitted in the areas of work during demolition and construction activities.
- F. The Contractor shall install the construction fence and maintain that it will be locked when not in use. Keys to this fencing will be provided to the District.

#### **1.08 PROTECTION OF EXISTING STRUCTURES AND UTILITIES**

- A. The Drawings and Reference Documents show above-grade and below-grade structures, utility lines, and other installations that are known or believed to exist in the area of the Work. Contractor shall locate these existing installations before proceeding with excavation and other operations that could damage same; maintain them in service, where appropriate; and repair damage to them caused by the performance of the Work. Should damage occur to these existing installations, the costs of repair shall be at the Contractor's expense and made to the District's satisfaction.
- B. Contractor shall be alert to the possibility of the existence of additional structures and utilities. If Contractor encounters additional structures and utilities, Contractor will immediately report to the District for disposition of same as indicated in the General Conditions.

#### **1.09 UTILITY SHUTDOWNS AND INTERRUPTIONS**

- A. Contractor shall give the District a minimum of fourteen (14) calendar days written notice in advance of any need to shut off existing utility services or to effect equipment interruptions. The District will set exact time and duration for shutdown, and will assist Contractor with shutdown. Work required to re-establish utility services shall be performed by the Contractor.
- B. Contractor shall obtain District's written approval as indicated in the General Conditions in advance of deliveries of material or equipment or other activities that may conflict with District's use of the building(s) or adjacent facilities.
- C. Power Shutdowns of a substation or campus wide power can only be done at a few limited times of the year, due to ongoing operations. The District data center that supports all three campuses is located at the Fairfield campus. Therefore these shutdowns dates need to be approved by the District and need to be coordinated/ planned with the District six months in advanced.

**1.10 STRUCTURAL INTEGRITY**

- A. Contractor shall be responsible for and supervise each operation and work that could affect structural integrity of various building elements, both permanent and temporary.
- B. Contractor shall include structural connections and fastenings as indicated or required for complete performance of the Work.

**PART 2 – PRODUCTS Not Used.**

**PART 3 – EXECUTION Not Used.**

END OF DOCUMENT

**SECTION 09 90 00**  
**PAINTING AND COATING**

**PART 1 GENERAL**

**1.01 SECTION INCLUDES**

- A. Surface preparation.
- B. Field application of paints.
  
- C. Scope: Finish all exterior surfaces exposed to view, unless fully factory-finished and unless otherwise indicated, including the following:
  - 1. **Buildings, structures, modular classrooms, previously painted storage units and sheds, trellis structures, previously painted louvers, previously painted fences/gates and enclosures, previously painted railings, flagpoles, bollards, etc.**
  - 2. Previously painted window and door frames.
  - 3. Exposed surfaces of steel lintels and ledge angles
  - 4. Mechanical and Electrical:
    - a. In finished areas, prime, prep and paint all insulated and exposed pipes, conduit, boxes, insulated and exposed ducts, hangers, brackets, collars and supports, mechanical equipment, and electrical equipment, unless otherwise indicated.
    - b. In finished areas, paint shop-primed items.
    - c. Paint all equipment that is exposed to weather or to view, including that which is factory-finished.
    - d. Paint dampers exposed behind louvers, grilles, to match face panels.
  
- D. Do Not Paint or Finish the Following Items:
  - 1. Items fully factory-finished unless specifically so indicated; materials and products having factory-applied primers are not considered factory finished. (unless noted above as prefinished surfaces being painted.
  - 2. Items indicated to receive other finishes.
  - 3. Items indicated to remain unfinished.
  - 4. Fire rating labels, equipment serial number and capacity labels, and operating parts of equipment.
  - 5. Non-metallic roofing and flashing.
  - 6. Stainless steel, anodized aluminum, bronze, terne, and lead items.
  - 7. Marble, granite, slate, and other natural stones.
  - 8. Floors, unless specifically so indicated.
  - 9. Ceramic and other tiles.
  - 10. Brick, architectural concrete, cast stone, integrally colored plaster and stucco, unless noted to be painted
  - 11. Glass.
  - 12. Acoustical materials, unless specifically so indicated.
  - 13. Concealed pipes, ducts, and conduits.
  - 14. Light Fixtures
  - 15. Operating parts, valves, dampers, sensing devices, motors and fans.
  
- E. Labels: Do not paint over UL, FMG, or other code-required labels or equipment name, identification, performance rating, or nomenclature plates.

**1.02 RELATED REQUIREMENTS**

- A. Division 9 Section "High-Performance Coatings" for industrial paints and maintenance and for special coatings.

### 1.03 DEFINITIONS

- A. Conform to ASTM D16 for interpretation of terms used in this section.
  - 1. Flat refers to a lusterless or matte finish with a gloss range below 15 when measured at an 85-degree meter.
  - 2. Eggshell refers to low-sheen finish with a gloss range between 20 and 35 when measured at a 60-degree meter.
  - 3. Semigloss refers to medium-sheen finish with a gloss range between 35 and 70 when measured at a 60-degree meter.
  - 4. Full gloss refers to high-sheen finish with a gloss range more than 70 when measured at a 60-degree meter.

### 1.04 REFERENCE STANDARDS

- A. 40 CFR 59, Subpart D - National Volatile Organic Compound Emission Standards for Architectural Coatings; U.S. Environmental Protection Agency; current edition.
- B. ASTM D16 - Standard Terminology for Paint, Related Coatings, Materials, and Applications; 2014.
- C. ASTM D4442 - Standard Test Methods for Direct Moisture Content Measurement of Wood and Wood-Base Materials; 2007.
- D. GreenSeal GS-11 - Paints and Coatings; 2013.
- E. SSPC (PM1) – Good Painting Practice: SSPC Painting Manual, Vol. 1; Society for Protective Coatings; Fourth Edition.
- F. USGBC LEED-NC – LEED Green Building Rating System for New Construction and Major Renovations; U.S. Green Building Council' 2009.

### 1.05 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide complete list of all products to be used, with the following information for each:
  - 1. Manufacturer's name, product name and/or catalog number, and general product category (e.g. "alkyd enamel").
  - 2. MPI product number (e.g. MPI #47).
  - 3. Cross-reference to specified paint system(s) product is to be used in; include description of each system.
  - 4. **Manufacturer's Label: Provide a color copy of the manufacturer's label for each product being used. This label shall include the product name and number, sheen. Product labels shall match material brought on site and will be inspected by the inspector. Onsite materials not matching submittals, or not labeled, shall be removed from the site and replaced with properly labeled materials at no cost to the owner.**
  - 5. **Provide a current "Certification of Compliance" for Zero VOC emissions by an independent testing agency for each interior paint product being used. Attach each "Certification of Compliance" to each manufacturer label being submitted. Independent testing agency must be a recognized testing agency by USGBC or CHPS organizations (i.e. Greenguard, Green Seal, SCS, Berkeley Analytical, etc.)**
- C. Samples: Submit three heavy cardboard "drop" samples, 8-1/2 by 11 inches in size, illustrating range of colors available for each finishing product specified.
  - 1. Where sheen is specified, submit samples in only that sheen.
  - 2. Include manufacturer's product number, sheen, texture and color on reverse side.
  - 3. Where sheen is not specified, discuss sheen options with Architect before preparing samples, to eliminate sheens definitely not required.
- D. Certification: By manufacturer that all paints and coatings comply with ZeroVOC limits specified.

- E. Certification: By manufacturer that all paints and coatings do not contain any of the prohibited chemicals specified; GreenSeal GS-11 certification is not required but if provided shall constitute acceptable certification.
- F. Manufacturer's Instructions: Indicate special surface preparation procedures.
- G. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.
  - 1. See Section 01 60 00 - Product Requirements, for additional provisions.
  - 2. Extra Paint and Coatings: 5 gallons of each color; store where directed.
  - 3. Label each container with color in addition to the manufacturer's label.

#### 1.06 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in manufacturing the products specified, with minimum three years documented experience.

#### 1.07 MOCK-UP

- A. See Section 01 40 00 - Quality Requirements, for general requirements for mock-up.
- B. Provide door and frame assembly illustrating paint coating color, texture, and finish.
- C. Locate where directed.
- D. Mock-up may remain as part of the work.

#### 1.08 DELIVERY, STORAGE, AND HANDLING

- A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.
- B. Container Label: Include manufacturer's name, type of paint, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.
- C. ***Product labels shall match material brought on site and will be inspected by the inspector. Onsite materials not matching submittals, or not labeled, shall be removed from the site and replaced with properly labeled materials, at no cost to the owner.***
- D. Paint Materials: Store at minimum ambient temperature of 45 degrees F and a maximum of 90 degrees F, in ventilated area, and as required by manufacturer's instructions.
- E. Coordination of Work: Review other sections of these specifications in which prime paints are to be provided to ensure compatibility of total coating system for various substrates. Upon request from other trades, furnish information or characteristics of finish materials provided for use, to ensure compatible prime coats are used.

#### 1.09 FIELD CONDITIONS

- A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.
- B. Follow manufacturer's recommended procedures for producing best results, including testing of substrates, moisture in substrates, and humidity and temperature limitations.
- C. Do not apply exterior coatings during rain or snow, or when relative humidity is outside the humidity ranges required by the paint product manufacturer.
  - 1. 1. Painting may continue during inclement weather if surfaces and areas to be painted are enclosed and heated within temperature limits specified by manufacturer during application and drying periods.
- D. Provide lighting level of 80 ft candles measured mid-height at substrate surface.
- E. Minimum Application Temperatures for Latex Paints: 45 degrees F (7 degrees C) for interiors; 50 degrees F (10 degrees C) for exterior; unless required otherwise by manufacturer's instruction.

### PART 2 PRODUCTS

#### 201 MANUFACTURERS

- A. Provide all paint and coating products from the same manufacturer to the greatest extent possible.
  - 1. In the event that a single manufacturer cannot provide all specified products, minor

exceptions will be permitted provided approval by Architect is obtained using the specified procedures for substitutions.

- B. Paints, Transparent Finishes and Stains:
  - 1. Sherwin Williams Company: [www.sherwin-williams.com](http://www.sherwin-williams.com)
  - 2. Kelly Moore Paints: [www.kellymoore.com](http://www.kellymoore.com)
- C. Primer Sealers: Same manufacturer as top coats.
- D. Block Fillers: Same manufacturer as top coats.
- E. Substitutions: See Section 01 60 00 - Product Requirements.

## **202 PAINTS AND COATINGS - GENERAL**

- A. Paints and Coatings: Ready mixed, unless intended to be a field-catalyzed coating.
  - 1. Provide paints and coatings of a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous coating, with good flow and brushing properties, and capable of drying or curing free of streaks or sags.
  - 2. Provide materials that are compatible with one another and the substrates indicated under conditions of service and application, as demonstrated by manufacturer based on testing and field experience.
  - 3. For opaque finishes, tint each coat including primer coat and intermediate coats, one-half shade lighter than succeeding coat, with final finish coat as base color.
  - 4. Supply each coating material in quantity required to complete entire project's work from a single production run.
  - 5. Do not reduce, thin, or dilute coatings or add materials to coatings unless such procedure is specifically described in manufacturer's product instructions.
- B. Primers: As follows unless other primer is required or recommended by manufacturer of top coats; where the manufacturer offers options on primers for a particular substrate, use primer categorized as "best" by the manufacturer.
- C. Volatile Organic Compound (VOC) Content:
  - 1. Provide coatings that comply with the most stringent requirements specified in the following:
    - a. 40 CFR 59, Subpart D--National Volatile Organic Compound Emission Standards for Architectural Coatings.
  - 2. Determination of VOC Content: Testing and calculation in accordance with 40 CFR 59, Subpart D (EPA Method 24), exclusive of colorants added to a tint base and water added at project site; or other method acceptable to authorities having jurisdiction.
- D. Sheens: Provide the sheens specified; where sheen is not specified, sheen will be selected later by Architect from the manufacturer's full line.
- E. Colors: As indicated on drawings
  - 1. Selection to be made by Architect after award of contract.
  - 2. Extend colors to surface edges; colors may change at any edge as directed by Architect.
  - 3. In finished areas, finish pipes, ducts, conduit, and equipment the same color as the wall/ceiling they are mounted on/under.
  - 4. In utility areas, finish equipment, piping, conduit, and exposed duct work in colors according to the color coding scheme indicated.

## **PAINT SYSTEMS - EXTERIOR**

### **301 CONCRETE MASONRY UNIT BLOCK FILLERS**

- A. Concrete Unit Masonry Block Filler: Factory-formulated high-performance latex block fillers.
  - 1. Kelly-Moore; 521 Prime & Fill Acrylic Block Filler: Applied at a dry film thickness of 10 - 12 mils per coat.

### **302 EXTERIOR PRIMERS**

- A. Exterior Concrete and Masonry Primer: Factory-formulated alkali-resistant acrylic-latex primer for exterior application.
  - 1. Kelly-Moore; 247 Acry-Shield 100% Acrylic Masonry Primer: Applied at a dry film

- thickness of 1.5 - 2.0 mils per coat
2. Sherwin Williams; PrepRite Interior/Exterior Block Filler B25W25: Applied at a dry film thickness of not less than 8.0 mils.
- B. Exterior Gypsum Soffit Board Primer: Factory-formulated alkali-resistant acrylic-latex primer for exterior application.
1. Kelly-Moore; 255 Acry Shield 100% Acrylic Exterior Wood Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  2. Sherwin-Williams; A-100 Exterior Latex Wood Primer B42W41: Applied at a dry film thickness of not less than 1.4 mils.
- C. Exterior Wood Primer for Acrylic Enamels: Factory-formulated latex wood primer for exterior application.
1. Kelly-Moore; 255 Acry-Shield Acrylic Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  2. Sherwin-Williams; Exterior Latex Wood Primer B42W41: Applied at a dry film thickness of not less than 1.4 mils.
- D. Exterior Wood Primer for Alkyd Enamels: Factory-formulated latex wood primer for exterior application.
1. Kelly-Moore; 255 Acry-Shield 100% Acrylic Exterior Wood Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  2. Sherwin-Williams; Exterior Latex Wood Primer B42W42: Applied at a dry film thickness of not less than 1.4 mils.
- E. Exterior Ferrous-Metal Primer: Factory-formulated rust-inhibitive metal primer for exterior application.
1. Kelly-Moore; 1711 Kel-Guard Alkyd White Rust Inhibitive Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat.
  2. Kelly-Moore; 5725 DTM-Acrylic Metal Primer/Finish: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  3. Sherwin-Williams; Procryl Metal Primer B66-310: Applied at a dry film thickness of not less than 2.5 – 4.0 mils.
- F. Exterior Galvanized Metal Primer: Factory-formulated galvanized metal primer for exterior application.
1. Kelly-Moore; 1725 Acry-Shield 100% Acrylic Metal Primer Applied at a dry film thickness of 1.5 - 2.0 mils per coat.
  2. Kelly-Moore; 5725 DTM-Acryli: Primer/Finish Applied at a dry film thickness of 1.5 - 2.0 mils per coat.
  3. Sherwin-Williams; Procryl Metal Primer B66-310.
  4. Sherwin-Williams; High Satin Polyurethane 100: Applied at a dry film thickness of not less than 2.0 mils.
- G. Exterior Aluminum Primer under Acrylic Finishes: Factory-formulated acrylic-based metal primer for exterior application.
1. Kelly-Moore; 1725 Acry-Shield 100% Acrylic Metal Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  2. Kelly-Moore; 5725 DTM-Acrylic Metal Primer: Applied at a dry film thickness of not less than 1.8 mils.
  3. Sherwin Williams; Procryl Metal Primer B66-310.
  4. Sherwin Williams; Procryl Metal Primer B66-310: Applied at a dry film thickness of not less than 2.5 mils.
- H. Exterior Aluminum Primer under Latex Finishes: Factory-formulated acrylic-based metal primer for exterior application.
1. Kelly-Moore; 1725 Acry-Shield 100% Acrylic Metal Primer: Applied at a dry film thickness of 1.5 - 2.0 mils per coat.
  2. Sherwin-Williams; Procryl Metal Primer B66-310: Applied at a dry film thickness of not less than 2.5 mils.

### 3.03 EXTERIOR FINISH COATS

- A. Exterior Flat Acrylic Paint: Factory-formulated flat acrylic-emulsion latex paint for exterior application.
  - 1. Kelly-Moore; 1240 Acry-Sheild 100% Acrylic Exterior Flat Paint: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  - 2. Sherwin-Williams; A-100 Exterior Latex Flat House & Trim Paint A6 Series: Applied at a dry film thickness of not less than 1.3 mils.
- B. Exterior Low-Luster Acrylic Paint: Factory-formulated low-sheen (eggshell) acrylic-latex paint for exterior application.
  - 1. Kelly-Moore; 1245 Acry-Shield 100% Acrylic Exterior Low Sheen Paint: Applied at a dry film thickness of 1.5 - 2.0 mils per coat.
  - 2. Sherwin-Williams; A-100 Exterior Latex Satin House & Trim Paint A82 Series: Applied at a dry film thickness of not less than 1.5 mils.
- C. Exterior Semigloss Acrylic Enamel: Factory-formulated semigloss waterborne acrylic-latex enamel for exterior application.
  - 1. Kelly-Moore; 1250 Acry-Shield 100% Acrylic Exterior Semi-Gloss Enamel: Applied at a dry film thickness of 1.5 to 2.0 mils per coat.
  - 2. Sherwin-Williams; A-100 Latex Gloss A8 Series: Applied at a dry film thickness of not less than 1.3 mils.
- D. Exterior Full-Gloss Acrylic Enamel for Concrete, Masonry, and Wood: Factory-formulated full-gloss waterborne acrylic-latex enamel for exterior application.
  - 1. Kelly-Moore; 1680 Dura-Poxy+ 100% Acrylic Gloss Enamel: Applied at a dry film thickness of 1.5 - 2.0 mils per coat
  - 2. Sherwin-Williams; DTM Acrylic Coating Gloss (Waterborne) B66W100 Series: Applied at a dry film thickness of not less than 2.4 mils.
- E. Exterior Full-Gloss Acrylic Enamel for Ferrous and Other Metals: Factory-formulated full-gloss waterborne acrylic-latex enamel for exterior application.
  - 1. Kelly-Moore; 5880 DTM High Performance Acrylic Gloss Enamel: Applied at a dry film thickness of 1.7 - 2.2 mils per coat.
  - 2. Sherwin-Williams; DTM Acrylic Coating Gloss (Waterborne) B66W100 Series: Applied at a dry film thickness of not less than 2.4 mils.
- F. \*\*\*\*\*Exterior Full-Gloss Latex Enamel: Factory-formulated full-gloss Latex enamel for exterior application.
  - 1. Kelly-Moore; 5880 DTM High Performance Acrylic Gloss Enamel: Applied at a dry film thickness of 1.7 - 2.2 mils per coat.
  - 2. Sherwin-Williams; Industrial Enamel B-54 Series: Applied at a dry film thickness of not less than 2.0 mils. High solids Polyurethane B65-625

### **PART 3 EXECUTION**

#### **401 EXAMINATION**

- A. Do not begin application of coatings until substrates have been properly prepared.
- B. Verify that surfaces are ready to receive work as instructed by the product manufacturer.
- C. Examine surfaces scheduled to be finished prior to commencement of work, with applicator present. Report any condition that may potentially affect proper application.
- D. Test shop-applied primer for compatibility with subsequent cover materials.
- E. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces are below the following maximums:
  - 1. Plaster and Stucco: 12 percent.
  - 2. Masonry, Concrete, and Concrete Unit Masonry: 12 percent.
  - 3. Exterior Wood: 15 percent, measured in accordance with ASTM D4442.

#### **402 PREPARATION**

- A. Clean all surfaces thoroughly and correct defects prior to coating application.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best

result for the substrate under the project conditions.

- C. Remove surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces or finishing. If removal is impractical or impossible because of size or weight of the item, provide surface applied protection before surface preparation and painting. After painting operations, reinstall items removed using workers skilled in the trades involved.
- D. Seal surfaces that might cause bleed through or staining of topcoat.
- E. Remove mildew from impervious surfaces by scrubbing with solution of tetra-sodium phosphate and bleach. Rinse with clean water and allow surface to dry.
- F. Concrete and Unit Masonry Surfaces to be Painted: Remove dirt, loose mortar, scale, salt or alkali powder, and other foreign matter. Remove oil and grease with a solution of tri-sodium phosphate; rinse well and allow to dry. Remove stains caused by weathering of corroding metals with a solution of sodium metasilicate after thoroughly wetting with water. Allow to dry.
- G. Plaster Surfaces to be Painted: Fill hairline cracks, small holes, and imperfections with latex patching plaster. Make smooth and flush with adjacent surfaces. Wash and neutralize high alkali surfaces.
- H. Galvanized Surfaces to be Painted: Remove surface contamination and oils and wash with solvent. Apply coat of etching primer.
- I. Corroded Steel and Iron Surfaces to be Painted: Prepare using at least SSPC-SP 2 (hand tool cleaning) or SSPC-SP 3 (power tool cleaning) followed by SSPC-SP 1 (solvent cleaning).
- J. Uncorroded Uncoated Steel and Iron Surfaces to be Painted: Remove grease, mill scale, weld splatter, dirt, and rust. Where heavy coatings of scale are evident, remove by hand or power tool wire brushing or sandblasting; clean by washing with solvent. Apply a treatment of phosphoric acid solution, ensuring weld joints, bolts, and nuts are similarly cleaned. Prime paint entire surface; spot prime after repairs.
- K. Shop-Primed Steel Surfaces to be Finish Painted: Sand and scrape to remove loose primer and rust. Feather edges to make touch-up patches inconspicuous. Clean surfaces with solvent. Prime bare steel surfaces.
- L. Exterior Wood Surfaces to Receive Opaque Finish: Remove dust, grit, and foreign matter. Seal knots, pitch streaks, and sappy sections. Fill nail holes with tinted exterior calking compound after prime coat has been applied. Back prime concealed surfaces before installation.
- ~~M. Glue Laminated Beams: Prior to finishing, wash surfaces with solvent, remove grease and dirt.~~
- ~~N. Wood Doors to be Field Finished: Seal wood door top and bottom edge surfaces with clear sealer.~~
- O. Metal Doors to be Painted: Prime metal door top and bottom edge surfaces.
- P. Remove any and all staples, tacks, tape, wires or other devices previously used for demonstration or display. Patch and repair all holes or deficiencies left behind for a “like new” finished surface.**
- Q. *Patch and repair any deficient or blemished surface with appropriate filler, prep, prime and paint rough edges for a new smooth final appearance*

#### 4.03 APPLICATION

- A. Remove unfinished louvers, grilles, covers, and access panels on mechanical and electrical components and paint separately.
- B. Exterior Wood to Receive Opaque Finish: If final painting must be delayed more than 2 weeks after installation of woodwork, apply primer within 2 weeks and final coating within 4 weeks.
- C. Apply products in accordance with manufacturer's instructions. Apply paint materials no thinner than manufacturer's recommended spreading rate to achieve dry film thickness indicated. Provide total dry film thickness of the entire system as recommended by manufacturer.

- D. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film.
- E. The term "exposed surfaces" includes areas visible when permanent or built-in fixtures, grilles, convector covers, covers for finned-tube radiation, and similar components are in place. Extend coatings in these areas, as required, to maintain system integrity and provide desired protection.
- F. Paint surfaces behind movable equipment and furniture the same as similar exposed surfaces. Before final installation of equipment, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
- G. Paint back sides of access panels and removable or hinged covers to match exposed surfaces.
- H. Finish exterior doors on tops, bottoms, and side edges the same as exterior faces.
- I. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.
- J. Apply each coat to uniform appearance.
- K. Dark Colors and Deep Clear Colors: **Regardless of number of coats specified, apply as many coats as necessary for complete hide.****
- L. Sand wood and metal surfaces lightly between coats to achieve required finish.
- M. Vacuum clean surfaces of loose particles. Use tack cloth to remove dust and particles just prior to applying next coat.
- N. Reinstall electrical cover plates, hardware, light fixture trim, escutcheons, and fittings removed prior to finishing.
- O. Prime Coats: Before applying finish coats, apply a prime coat, as recommended by manufacturer, to material that is required to be painted or finished and that has not been prime coated by others. Recoat primed and sealed surfaces where evidence of suction spots or unsealed areas in first coat appears, to ensure a finish coat with no burn-through or other defects due to insufficient sealing.
- P. Pigmented (Opaque) Finishes: Completely cover surfaces as necessary to provide a smooth, opaque surface of uniform finish, color, appearance, and coverage. Cloudiness, spotting, holidays, laps, brush marks, runs, sags, ropiness, or other surface imperfections will not be acceptable.
- Q. Stipple Enamel Finish: Roll and redistribute paint to an even and fine texture. Leave no evidence of rolling, such as laps, irregularity in texture, skid marks, or other surface imperfections.
- R. Completed Work: Match approved samples for color, texture, and coverage. Remove, refinish, or repaint work not complying with requirements.

#### **4.04 APPLICATION PROCEDURES:**

- A. APPLY PAINTS AND COATINGS BY BRUSH, ROLLER, SPRAY, OR OTHER APPLICATORS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - 1. Brushes: Use brushes best suited for type of material applied. Use brush of appropriate size for surface or item being painted.
  - 2. Rollers: Use rollers of carpet, velvet-back, or high-pile sheep's wool as recommended by manufacturer for material and texture required.
  - 3. Spray Equipment: Use airless spray equipment with orifice size as recommended by manufacturer for material and texture required.

#### **4.05 FIELD QUALITY CONTROL**

- A. See Section 01 40 00 - Quality Requirements, for general requirements for field inspection.
- B. Owner will provide field inspection.**

#### **4.06 CLEANING**

- A. Collect waste material that could constitute a fire hazard, place in closed metal containers, and remove daily from site.

#### 4.07 PROTECTION

- A. Protect finished coatings until completion of project.
- B. Touch-up damaged coatings after Substantial Completion.

#### SCHEDULE - PAINT SYSTEMS

##### 5.01 EXTERIOR PAINT SCHEDULE

- A. Concrete, Stucco, and Masonry (Other Than Concrete Unit Masonry): Provide the following finish systems over exterior concrete, stucco, and brick masonry substrates:
  - 1. Flat Acrylic Finish: Two finish coats over a primer. (Total dry film thickness not less than 2.5 mils.)
    - a. Primer: Exterior concrete and masonry primer.
    - b. Finish Coats: Exterior flat acrylic paint.
  - 2. Low-Luster Acrylic Finish: Two finish coats over a primer. (Total dry film thickness not less than 2.5 mils.)
    - a. Primer: Exterior concrete and masonry primer.
    - b. Finish Coats: Exterior low-luster acrylic paint.
  - 3. Semigloss Acrylic-Enamel Finish: Two finish coats over a primer. (Total dry film thickness not less than 2.5 mils.)
    - a. Primer: Exterior concrete and masonry primer.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
- B. Concrete Unit Masonry: Provide the following finish systems over exterior concrete unit masonry:
  - 1. Flat Acrylic Finish: Two finish coats over a block filler. (Total dry film thickness not less than 2.5 mils.)
    - a. Block Filler: Concrete unit masonry block filler.
    - b. Finish Coats: Exterior flat acrylic paint.
  - 2. Low-Luster Acrylic Finish: Two finish coats over a block filler. (Total dry film thickness not less than 2.5 mils.)
    - a. Block Filler: Concrete unit masonry block filler.
    - b. Finish Coats: Exterior low-luster acrylic paint.
  - 3. Semigloss Acrylic-Enamel Finish: Two finish coats over a block filler. (Total dry film thickness not less than 2.5 mils.)
    - a. Block Filler: Concrete unit masonry block filler.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
- C. Mineral-Fiber-Reinforced Cement Panels: Provide the following finish systems over exterior, mineral-fiber-reinforced cement panels:
  - 1. Flat Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Exterior concrete and masonry primer.
    - b. Finish Coats: Exterior flat acrylic paint.
- D. Exterior Gypsum Soffit Board: Provide the following finish systems over exterior gypsum soffit board:
  - 1. Flat Acrylic Finish: Two finish coats over an exterior alkyd- or alkali-resistant primer.
    - a. Primer: Exterior gypsum soffit board primer.
    - b. Finish Coats: Exterior flat acrylic paint.
  - 2. Low-Luster Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Exterior gypsum soffit board primer.
    - b. Finish Coats: Exterior low-luster acrylic paint.
  - 3. Semigloss Acrylic-Enamel Finish: Two finish coats over a primer.
    - a. Primer: Exterior gypsum soffit board primer.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
- E. Smooth Wood: Provide the following finish systems over smooth wood siding, wood trim, and other smooth exterior wood surfaces:
  - 1. Flat Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Exterior wood primer for acrylic enamels.

- b. Finish Coats: Exterior flat acrylic paint.
  - 2. Low-Luster Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Exterior wood primer for acrylic enamels.
    - b. Finish Coats: Exterior low-luster acrylic paint.
- F. Wood Trim: Provide the following finish systems over exterior wood trim:
  - 1. Semigloss Acrylic-Enamel Finish: Two finish coats over a primer.
    - a. Primer: Exterior wood primer for acrylic enamels.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
- G. Plywood: Provide the following finish systems over exterior plywood:
  - 1. Flat Acrylic Finish: Two finish coats over a primer.
    - a. Primer: Exterior wood primer for acrylic enamels.
    - b. Finish Coats: Exterior flat acrylic paint.
  - 2. Low-Luster Finish: Two finish coats over a primer.
    - a. Primer: Exterior wood primer for acrylic enamels.
    - b. Finish Coats: Exterior low-luster acrylic paint.
- H. Ferrous Metal: Provide the following finish systems over exterior ferrous metal. Primer is not required on shop-primed items.
  - 1. Low-Luster Acrylic Finish: Two finish coats over a rust-inhibitive primer.
    - a. Primer: Exterior ferrous-metal primer.
    - b. Finish Coat: Exterior low-luster acrylic paint.
  - 2. Semigloss Acrylic-Enamel Finish: Two finish coats over a rust-inhibitive primer.
    - a. Primer: Exterior ferrous-metal primer.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
  - 3. Full-Gloss Acrylic-Enamel Finish: Two finish coats over a rust-inhibitive primer.
    - a. Primer: Exterior ferrous-metal primer.
    - b. Finish Coats: Exterior full-gloss acrylic enamel for ferrous and other metals.
  - 4. Full-Gloss Alkyd-Enamel Finish: Two finish coats over a rust-inhibitive primer.
    - a. Primer: Exterior ferrous-metal primer.
    - b. Finish Coats: Exterior full-gloss alkyd enamel.
- I. Zinc-Coated Metal: Provide the following finish systems over exterior zinc-coated metal surfaces:
  - 1. Low-Luster Finish: Two finish coats over a galvanized metal primer.
    - a. Primer: Exterior galvanized metal primer.
    - b. Finish Coat: Exterior low-luster acrylic paint.
  - 2. Semigloss Acrylic-Enamel Finish: Two finish coats over a galvanized metal primer.
    - a. Primer: Exterior galvanized metal primer.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
  - 3. Full-Gloss Acrylic-Enamel Finish: Two finish coats over a galvanized metal primer.
    - a. Primer: Exterior galvanized metal primer.
    - b. Finish Coats: Exterior full-gloss acrylic enamel for ferrous and other metals.
- J. Aluminum: Provide the following finish systems over exterior aluminum surfaces:
  - 1. Semigloss Acrylic-Enamel Finish: Two finish coats over a primer.
    - a. Primer: Exterior aluminum primer under acrylic finishes.
    - b. Finish Coats: Exterior semigloss acrylic enamel.
  - 2. Full-Gloss Acrylic-Enamel Finish: Two finish coats over a primer.
    - a. Primer: Exterior aluminum primer under acrylic finishes.
    - b. Finish Coats: Exterior full-gloss acrylic enamel for ferrous and other metals.

**END OF SECTION**

# FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

## SOLANO COUNTY COMMUNITY COLLEGE DISTRICT



### COLOR SELECTION

ABBREVIATIONS	
A	AND
AB	ANCHOR BOLT
ABV	ABOVE
A.C.	ASPHALTIC CONCRETE
ACT	ADJUSTABLE
ADJ.	ADJUSTABLE FLOOR
A.F.F.	ALUMINUM
ALUM.	ACCESS PANEL
AP	APPROXIMATELY
APPROX.	ARCHITECT
ARCH.	
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM	BEAM
B.M.	BENCH MARK
BOT.	BOTTOM
B.T.W.	BETWEEN
B.W.	BOTH WAYS
CAB.	CATCH BASIN
C.B.	CENTER TO CENTER
C.C. or O.C.	CENTER TO CENTER
C.E.M.	CEMENT
CER. TILE	CERAMIC TILE
C.G.	CORNER GUARD
C.I.	CAST IRON
C.J.	CONTROL JOINT
C.L.G.	CEILING
CLG.	CEILING
CLK.	CAULKING
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR.	COUNTER
C.O.	CLEANOUT
COL.	COLUMN
CONC.	CONCRETE
CONST.	CONSTRUCTION
CONT.	CONTRACTOR
CONTR.	CONCRETE PIPE
CTR.	CENTER
CTRK.	COUNTER SUNK
C.W.	COLD WATER
D.A.	DISABLED ACCESS
DBL.	DOUBLE
D.F.	DRINKING FOUNTAIN
D.F.R.	DOUGLAS FIR
DTL.	DETAIL
DA, or Ø	DIAMETER
DM.	DIMENSION
DISP.	DISPOSAL
DN.	DOWN
DO	DITTO
DR.	DOOR
DR.	DOWNSPOUT
DWG.	DRAWING
(E)	EXISTING
E.	EAST
E.A.	EXPANSION JOINT
E.J.	ELECTRICAL
ELEC.	ELEVATION
EL.	ELEVATOR
ELEV.	ENCLOSURE and/or ENCLOSURE
ENCL.	EQUAL
EQ.	EQUIPMENT
EQUIP.	EACH WAY
E.W.	ELECTRIC WATER COOLER
E.W.C.	EXPANSION
EX.	EXPOSED
EXP.	EXTERIOR
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.	FIRE HYDRANT
F.H.C.	FIRE HOSE CABINET
F.H.S.M.S.	FLAT HEAD SHEET METAL SCREW
F.H.W.S.	FLAT HEAD WOOD SCREW
FN.	FINISH
FL. or FLR.	FLOOR
F.O.F.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.S.	FINISH SLAB
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
GL.	GALVANIZED IRON
GLU-LAM	GLUE LAMINATED
GND.	GROUND
GR.	GRADE
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HOWD.	HARDWOOD
HOWR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOOR
HT.	HEIGHT
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
JT	JOINT
K.D.	KILN DRIED
LAB.	LABORATORY
LAM.	LAMINATE
LAV.	LAVATORY
LKR.	LOCKER
LT.	LIGHT
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MFR.	MANUFACTURER
M.F.H.	MANHOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
M.S.	MACHINE SCREW
MTD.	MOUNTED
MTL.	METAL
MUL.	MULLION
(N)	NEW
N.	NORTH
NOT IN CONTRACT	
N.I.C.	NUMBER
NO. or #	NOMINAL
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
OBS.	OBSCURE
O.C.	ON CENTER
OCC.	OCCUPANCY
O.D.	OVERFLOW DRAIN and/or OUTSIDE DIAMETER
O.F.O.S.	OUTSIDE FACE OF STUD
O.F.C.I.	OWNER FURNISHED AND CONTRACTOR INSTALLED
O.H.	OPPOSITE HAND
OPNG.	OPENING
OPP.	OPPOSITE
P.A.F.	POWDER ACTUATED FASTENER
P.L.	PLATE
P.L.	PROPERTY LINE
P.LAM.	PLASTER LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
PTD.	PAINTED
PTN.	PARTITION
Q.T.	QUARRY TILE
R. or RAD.	RADIUS
R.C.P.	REINFORCED CONCRETE PIPE
R.D.	ROOF DRAIN
R.E.	RIM ELEVATION
REF.	REFERENCE
REIN.	REINFORCING
REQD.	REQUIRED
R.H.M.S.	ROUND HEAD METAL SCREW
R.H.W.S.	ROUND HEAD WOOD SCREW
RM.	ROOM
R.O.	ROUGH OPENING
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.	SOLID CORE
S.C.D.	SEE CIVIL DRAWINGS
SCHED.	SCHEDULE
S.E.D.	SEE ELECTRICAL DRAWINGS
S.F.	SQUARE FEET
SHEATH.	SHEATHING
SHT.	SHEET
SIM.	SIMILAR
S.L.D.	SEE LANDSCAPE DRAWINGS
S.M.	SHEET METAL
S.M.D.	SEE MECHANICAL DRAWINGS
S.M.S.	SHEET METAL SCREW
S.O.V.	SHUT OFF VALVE
S.P.D.	SEE PLUMBING DRAWINGS
SPEC.	SPECIFICATIONS
SQ. or Ø	SQUARE
S.S.	STAINLESS STEEL
S.S.D.	SEE STRUCTURAL DRAWINGS
STAG.	STAGGERED
STD.	STANDARD
STL.	STEEL
STR.	STORAGE
STRUCT.	STRUCTURAL
S.T.S.M.S.	SELF TAPPING SHEET METAL SCREW
SUSP.	SUSPENDED
T.A.G.	TONGUE & GROOVE
TEL.	TELEPHONE
TERR.	TERRAZZO
THRES.	THRESHOLD
T.J.	TWOED JOINT
T.O.B.	TOP OF BEAM
T.O.C.	TOP OF CURB or CONCRETE
T.O.S.	TOP OF STEEL or SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL
V.C.P.	VITRIFIED CLAY PIPE
V.C.T.	VINYL COMPOSITION TILE
V.G.	VERTICAL DRAIN
V.I.F.	VENT IN FIELD
V.T.R.	VENT THROUGH ROOF
V.W.C.	VINYL WALL COVERING
W.	WEST
W.	WITH
W.C.	WATER CLOSET
WD.	WOOD
WH.	WATER HEATER
WO	WITHOUT
WO	WHERE OCCURS
WP.	WEATHERPROOF / WEATHERPROOF
W.P.T.	WORKING POINT
W.R.	WATER RESISTANT
WT.	WEIGHT

- ### GENERAL NOTES
- ITEMS OF A CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, OR ELECTRICAL NATURE MAY NOT APPEAR ON THE ARCHITECTURAL DRAWINGS. SEE APPROPRIATE DRAWINGS FOR THESE ITEMS.
  - DIVISION OF THE STATE ARCHITECT (DSA) APPROVAL OF THIS APPLICATION DOES NOT INCLUDE FUTURE OR N.I.C. ITEMS.
  - ALL DEFERRED APPROVAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND THE APPROPRIATE CONSULTING ENGINEER FOR REVIEW & APPROVAL PRIOR TO SUBMITTING TO DSA FOR CHECKING & APPROVAL.
  - THE FIRE SUPPRESSION SYSTEM, I.E. AUTOMATIC SPRINKLERS, HOOD-DUCT SYSTEM, WET STANDPIPES, AND HYDRANTS SHALL NOT BE INSTALLED UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY THE FIRE & LIFE SAFETY SECTION AT DSA.
  - THE FIRE PROTECTION SIGNALING SYSTEM SHALL NOT BE INSTALLED UNTIL SHOP DRAWINGS, INCLUDING FIRE MARSHAL LISTING NUMBER FOR EACH COMPONENT OF THE SYSTEM, HAS BEEN SUBMITTED AND APPROVED BY THE STATE FIRE MARSHAL AT DSA.
  - FOOD HANDLING FACILITIES SHALL COMPLY WITH ALL LOCAL HEALTH DEPARTMENT REQUIREMENTS & CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAW.
  - PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN, OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE, OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE AND/OR FAILURE TO INSPECT THE CONTRACT DOCUMENTS.
  - THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF THE NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS & BY THE SCHOOL DISTRICT, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL EXISTING UTILITIES.
  - ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
  - ALL EXISTING FINISHES OR MATERIALS DAMAGED OR DEMOLISHED DUE TO NEW CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE OR REPLACED WITH NEW MATERIALS FINISHED TO MATCH EXISTING.
  - CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISRUPTION OF STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF POWER, TELEPHONE, OR HVAC SYSTEMS MUST BE COORDINATED AND APPROVED BY THE DISTRICT REPRESENTATIVE PRIOR TO ANY WORK COMMENCING.
  - COMPLIANCE WITH CFC CHAPTER 33 (FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION) AND CBC CHAPTER 33 (SAFEGUARDS DURING CONSTRUCTION) WILL BE ENFORCED.
  - REMOVE EXISTING METAL SIGNAGES WHERE CONFLICTS WITH NEW SIGNAGE. TURN OVER TO DISTRICT, PATCH AND REPAIR WALL SURFACE FOR NEW PAINTED FINISH.

### SYMBOL LEGEND

REFER TO ARCHITECTURAL FLOOR PLAN SHEETS AND CONSULTANT DRAWINGS FOR ADDITIONAL SYMBOLS AND REFERENCE DESIGNATIONS

#### DIMENSION REFERENCE

10" FACE OF OBJECT

10" CENTER LINE OF OBJECT

#### TAGS AND MARKERS

0 PLAN REFERENCE GRID

STRUCTURAL GRID LINE

REVISION MARKER

PLAN KEY NOTES

ROOM LABEL

ROOM NAME

ROOM NUMBER

WALL TYPE MARKER

DOOR ID

DOOR DESIGNATION

ROOM NUMBER

CENTER LINE

FINISH TAG

FLOOR FINISH TAG

#### MATERIALS REFERENCE

EARTH

GRAVEL / ROCK

CONCRETE

CONCRETE BLOCK (CMU)

SAND, GROUT, OR PLASTER

STEEL

PLYWOOD

WOOD, CONTINUOUS MEMBER

WOOD, BLOCKING

WOOD, FINISH GRADE

#### CABINET TYPES

PC - PREFINISHED CABINETS

PM - PREFINISHED MOBILE CABINETS

PR - PREFINISHED MOVEABLE CABINETS

PU - PREFINISHED UTILITY CABINETS

PS - SCIENCE CABINETS

NOTE: REFER TO SPECIFICATIONS FOR SPECIFIC CABINET TYPE REQUIREMENTS.

#### SECTION REFERENCE

SECTION NUMBER

REFERENCE LABEL WHERE OCCURS

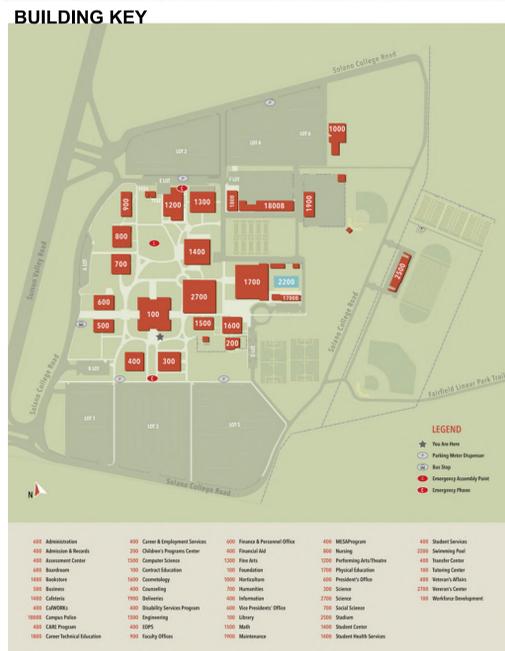
SHEET NUMBER

#### DETAIL REFERENCE

DETAIL NUMBER

REFERENCE LABEL WHERE OCCURS

SHEET NUMBER



### SCOPE OF WORK

CAMPUS EXTERIOR PAINT REFRESH WITH BUILDING LOGOS AND SIGNAGES WHERE INDICATED

### DRAWING INDEX

ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
T	TITLE SHEET
A1	COLORS & IMAGES
A2	SITE PLAN - NORTH
A3	SITE PLAN - EAST
A4	SITE PLAN - SOUTH
A5	SITE PLAN - WEST
A6	DETAILS

### FIELD COLOR (FC1)

KELLY MOORE / APPLE WHITE OW206-1

### FIELD COLOR (FC2)

SHERWIN WILLIAMS / PASSIVE SW7064

### ACCENT COLOR (AC1)

TRESPA / SIENNA BROWN A1045

### ACCENT COLOR (AC2)

TRESPA / SUN YELLOW A0514

### ACCENT COLOR (AC3)

TRESPA / STONEBEIGE A0511

### ACCENT COLOR (AC1)

TRESPA / NEVERFADE SOLANO BLUE P-66726



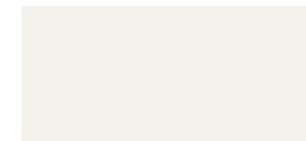
## FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

SOLANO COUNTY COMMUNITY  
COLLEGE DISTRICT

### COLOR SELECTION

#### FIELD COLOR (FC1)

KELLY MOORE /  
APPLE WHITE  
OW206-1



#### FIELD COLOR (FC2)

SHERWIN WILLIAMS /  
PASSIVE  
SW7064



#### ACCENT COLOR (AC1)

TRESPA /  
SIENNA BROWN  
A1045



#### ACCENT COLOR (AC2)

TRESPA /  
SUN YELLOW  
A0514



#### ACCENT COLOR (AC3)

TRESPA /  
STONEBEIGE  
A0511

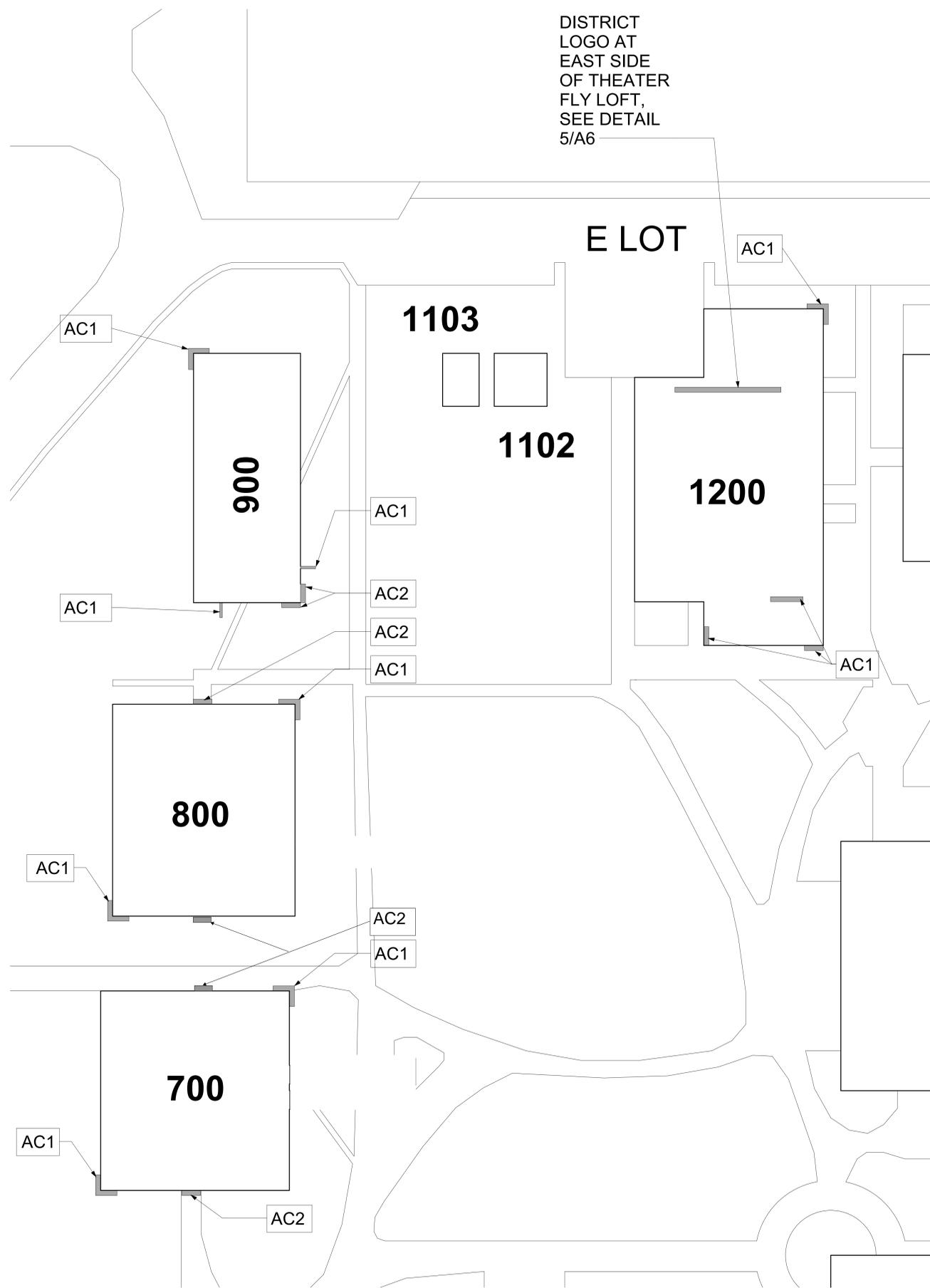


#### SHEET NOTES:

BUILDINGS 700, 800, 900 AND 1200

- All buildings are to be painted in field color (FC2) with Columns and arches to be (FC1), U.O.N., Refer to Building 500 image as reference.
- All buildings entries are to be painted in accent Color (AC2), U.O.N. Refer to Building 500 image for reference. All building corners indicated are to be painted with color (AC1), U.O.N. Refer to Building 500 image for reference. See Sheet 6/A6 for Typical Accent Painting at Entries
- Building 900 - Field paint is stonebeige (AC3), refer to Building 900 image as reference.
- NOTE Bldg. 1200 - Has recently been painted and will only require Accent color (AC1) where indicated, refer to Building 1200 #1 & #2 image for reference.
- Building 1200: Paint using stencils District Logo on East side of fly loft. Logo shall be provided in vector file by the District. See sheet 6/A6 for Typical Logo layout and dimensions.
- Building numbering shall be painted Apple White (FC1), with stencils in format show in pictures at all AC1 accent corners. See Sheet 1/A6 for text size, font style, and typical dimensional layout.
- Contractor shall prep, prime and paint all building, Window and door frames, etc. See specifications section 09 90 00 for further details.
- NOTE: Buildings 1103 and 1102 shall NOT be painted.

DISTRICT  
LOGO AT  
EAST SIDE  
OF THEATER  
FLY LOFT,  
SEE DETAIL  
5/A6



BUILDING 900



BUILDING 1200 #1



BUILDING 1200 #2



BUILDING 500





BUILDING 1300 #1



BUILDING 1300 #2



BUILDING 1300 #3



BUILDING 1800 & 1300



BUILDING 1400, 1700 & 2700



BUILDING 1400

## FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

SOLANO COUNTY COMMUNITY  
COLLEGE DISTRICT

### COLOR SELECTION

**FIELD COLOR (FC1)**

KELLY MOORE /  
APPLE WHITE  
OW206-1



**FIELD COLOR (FC2)**

SHERWIN WILLIAMS /  
PASSIVE  
SW7064



**ACCENT COLOR (AC1)**

TRESPA /  
SIENNA BROWN  
A1045



**ACCENT COLOR (AC2)**

TRESPA /  
SUN YELLOW  
A0514



**ACCENT COLOR (AC3)**

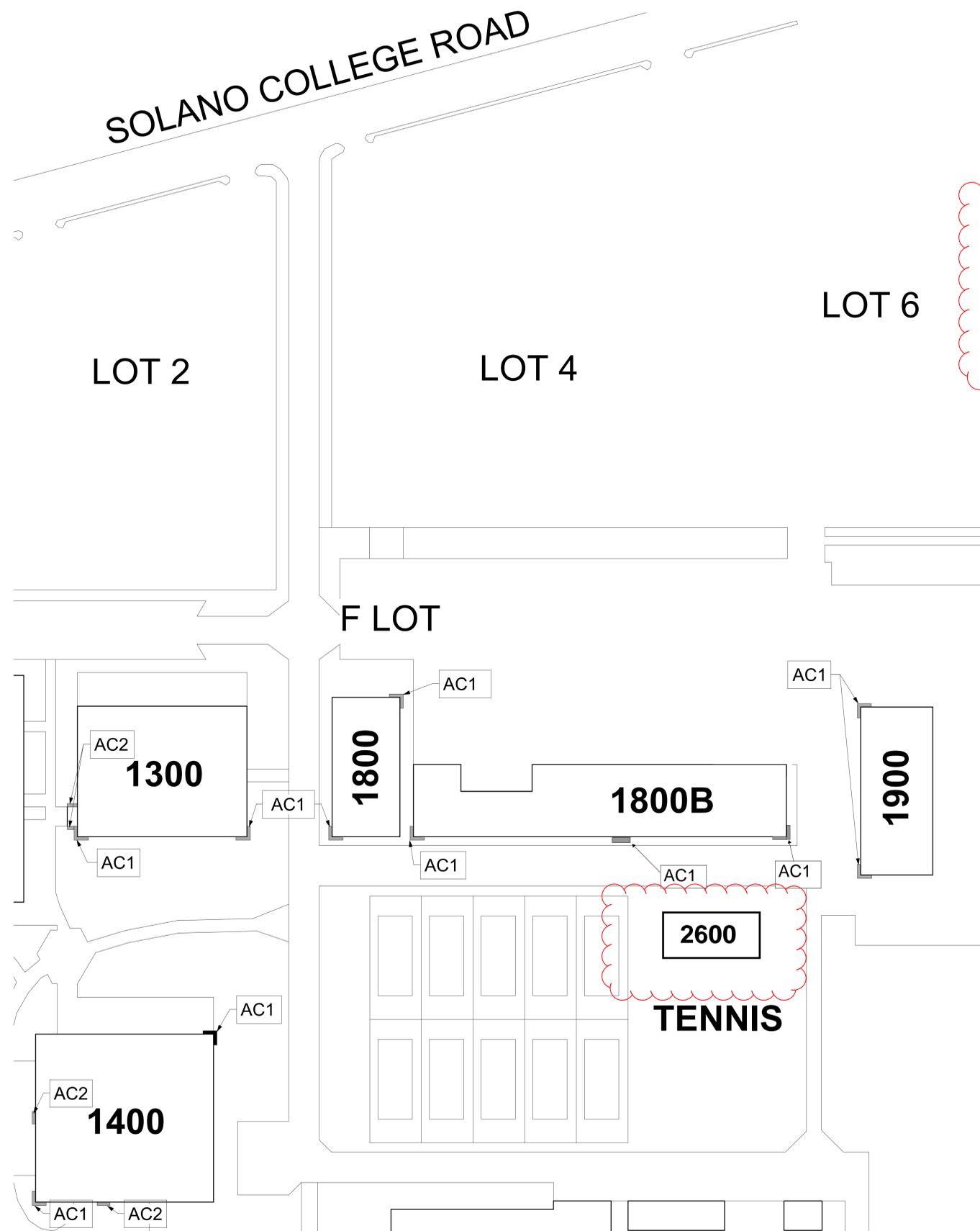
TRESPA /  
STONEBEIGE  
A0511



**SHEET NOTES:**

BUILDINGS 1300, 1400, 1800 (including 1800B) and 1900

- All buildings are to be painted in field color (FC2) with columns and arches to be (FC1), U.O.N., Refer to Building 1300 #2 image as reference.
- All buildings entry columns are to be painted in accent Color (AC2), refer to Building 1400 image for reference. See Sheet 6/A6 for Typical Accent Painting at Entries.
- Building numbering shall be painted Apple White (FC1), with stencils in format show in pictures at all AC1 accent corners. See Sheet 1/A6 for text size, font style, and typical dimensional layout.
- Building 1300 #1 - Corner entry accent to have AC1 and AC2 on the adjacent wall. Field color (FC2) with columns to be (FC1). Refer to Building 1300 #1 image for reference.
- Contractor shall prep, prime and paint all building, Window and door frames, etc. See specifications section 09 90 00 for further details.



## FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

SOLANO COUNTY COMMUNITY  
COLEGE DISTRICT

### COLOR SELECTION

#### FIELD COLOR (FC1)

APPLE WHITE  
OW206-1



#### FIELD COLOR (FC2)

SHERWIN WILLIAMS /  
PASSIVE  
SW7064



#### ACCENT COLOR (AC1)

TRESPA /  
SIENNA BROWN  
A1045



#### ACCENT COLOR (AC2)

TRESPA /  
SUN YELLOW  
A0514



#### ACCENT COLOR (AC3)

TRESPA /  
STONEBEIGE  
A0511



#### ACCENT COLOR (AC4)

TRESPA /  
NEVERFADE  
SOLANO BLUE  
P-66726



#### SHEET NOTES:

BUILDINGS 200, 1500, 1600, 1700 (INCLUDING 1700B), 2200, AND 2700

- All buildings are to be painted in field color (FC2) with columns and arches to be (FC1), U.O.N., Refer to Building 500 image as reference.
- NOTE: Building 2700 - has recently been painted and ONLY requires new building stencil numbering in locations shown.
- Building 1500 and 1600 entries are to be painted in accent Color (AC2), U.O.N. Refer to Building 500 image for reference. See Sheet 6/A6 for Typical Accent Painting at Entries.
- Building 1700 entry to be painted in accent Color (AC4), Refer to Building 1700 image for reference. Columns and arches to be painted field color (FC1) See Sheet 6/A6 for Typical Accent Painting at Entries, similar.
- Building 1700: Paint using stencils College Falcon mascot on high portion of gymnasium. Falcon logo in vector file shall be provided by the District. See sheet 3/A6 for Typical Falcon layout and dimensions.
- Building numbering shall be painted Apple White (FC1), with stencils in format show in pictures at all AC1 accent corners. See Sheet 1/A6 for text size, font style, and typical dimensional layout.
- Contractor shall prep, prime and paint all building, Window and door frames, etc. See specifications section 09 90 00 for further details.
- NOTE: Building 200 shall NOT be painted.



BUILDING 1400, 1700 & 2700



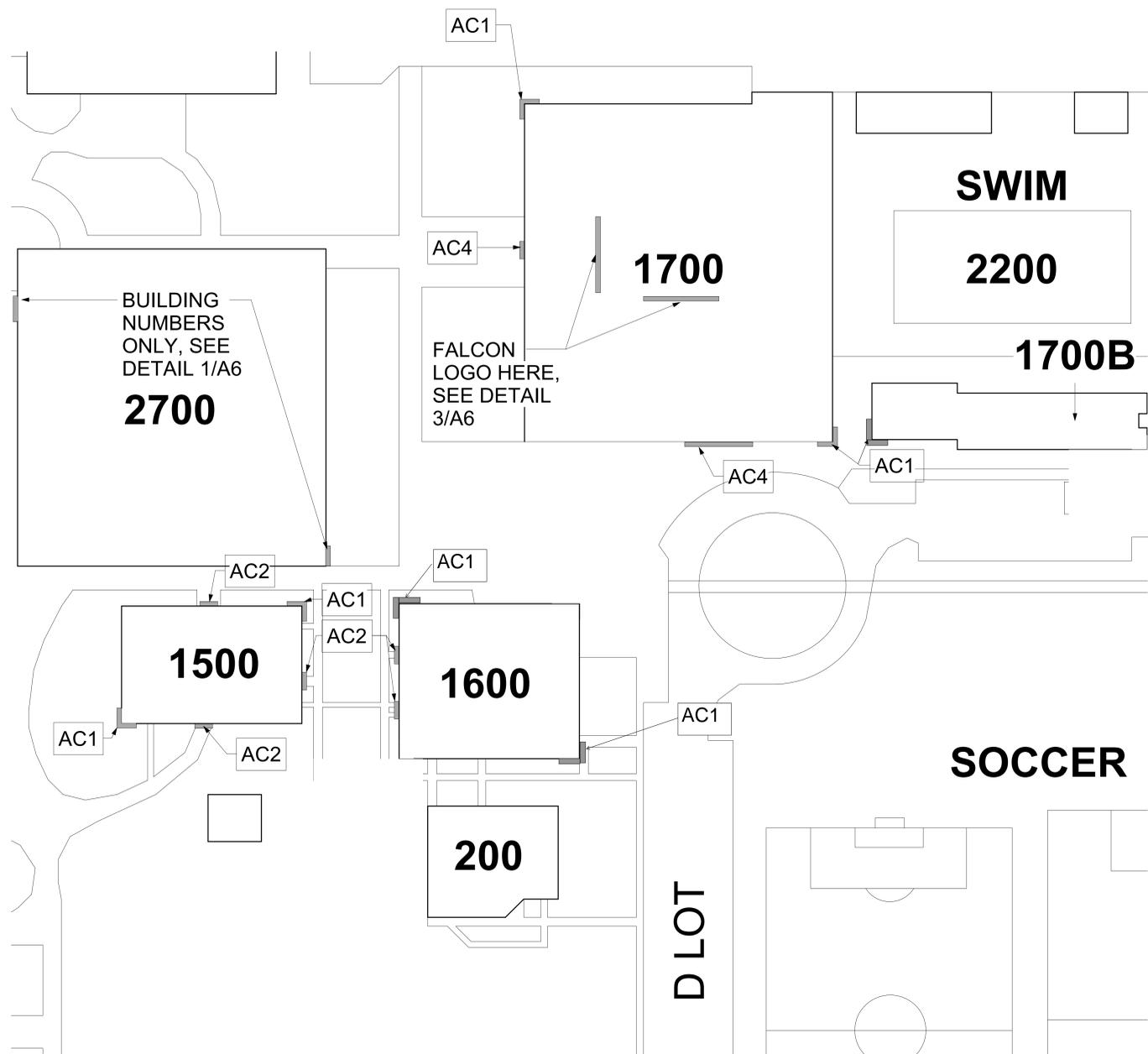
BUILDING 1700



BUILDING 500



BUILDING 2700



## FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

SOLANO COUNTY COMMUNITY  
COLLEGE DISTRICT

### COLOR SELECTION

#### FIELD COLOR (FC1)

KELLY MOORE /  
APPLE WHITE  
OW206-1



#### FIELD COLOR (FC2)

SHERWIN WILLIAMS /  
PASSIVE  
SW7064



#### ACCENT COLOR (AC1)

TRESPA /  
SIENNA BROWN  
A1045



#### ACCENT COLOR (AC2)

TRESPA /  
SUN YELLOW  
A0514



#### ACCENT COLOR (AC3)

TRESPA /  
STONEBEIGE  
A0511



BUILDING 300 & 400



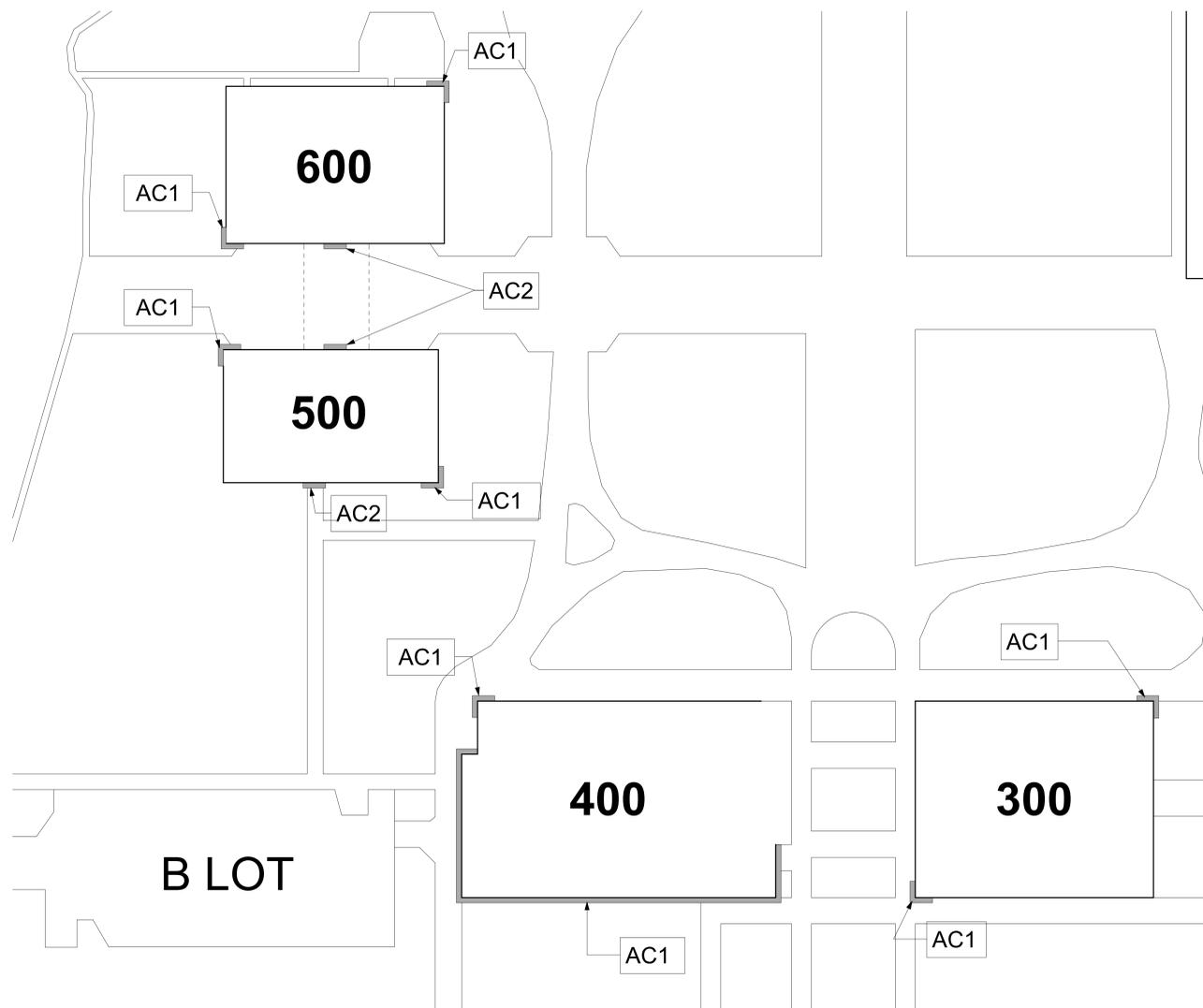
BUILDING 400 #1



BUILDING 400 #2



BUILDING 500



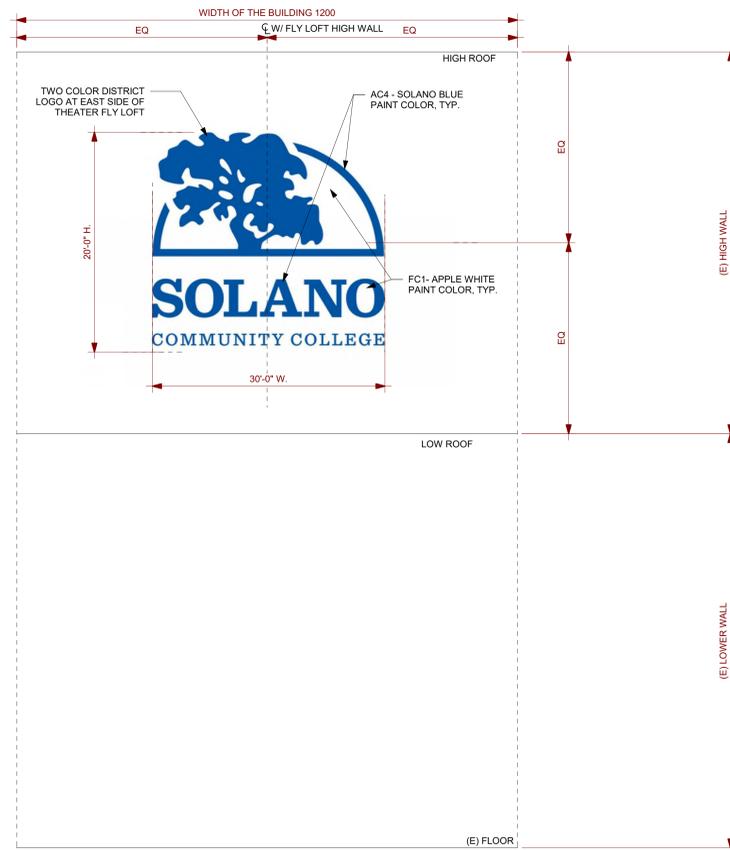
#### SHEET NOTES:

SHEET NOTES – BUILDINGS 300, 400, 500 and 600

- Buildings 500 and 600: are to be painted in field color (FC2) with columns to be (FC1), U.O.N., Refer to Building 500 image as reference.
- Building 500 and 600 entries are to be painted in accent Color (AC2), U.O.N. Refer to Building 500 image for reference. See Sheet 6/A6 for Typical Accent Painting at Entries.
- Concrete Canopy between Buildings 500 and 600 shall be painted Field Color (FC1).
- Building numbering shall be painted Apple White (FC1), with stencils in format show in pictures at all AC1 ac cent corners. See Sheet 1/A6 for text size, font style, and typical dimensional layout.
- Building 300 - Field color is Stonebeige (AC3), columns with arches and covered walkway are (FC1). Refer to Building 300 & 400 image as reference.
- Building 400 - Accent color (AC1) where indicated, (AC3) & (FC1) as field color. Refer to Building 400 #2 image for reference. Building 400 shall receive building numbering at West face as shown is Building 400 #1 image.
- Contractor shall prep, prime and paint all building, Window and door frames, etc. See specifications section 09 90 00 for further details.

# FAIRFIELD CAMPUS BUILDING EXTERIOR PAINTING

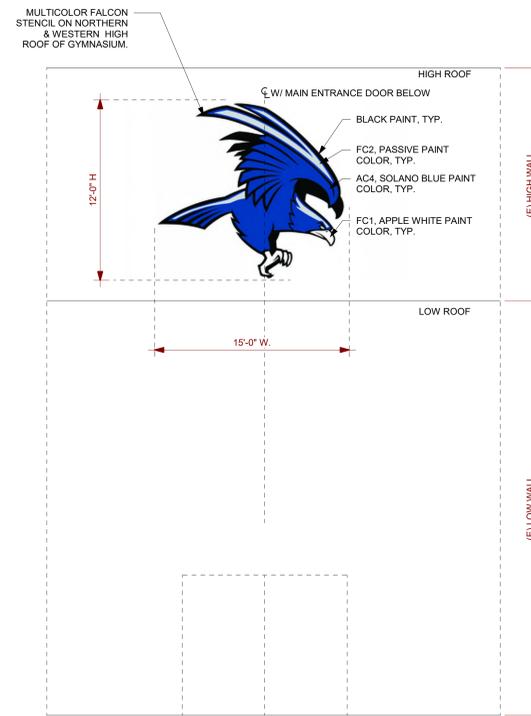
SOLANO COUNTY COMMUNITY COLLEGE DISTRICT



**DISTRICT LOGO**

NOTE: ONLY APPLICABLE TO BE ON BUILDING 1200. SIZE TO BE 30'-0" W X 20'-0" H LOGO. TEXT BELOW TO BE PROPORTION TO LOGO. COORDINATE W/ DISTRICT PRIOR TO STENCILING & PAINTING.

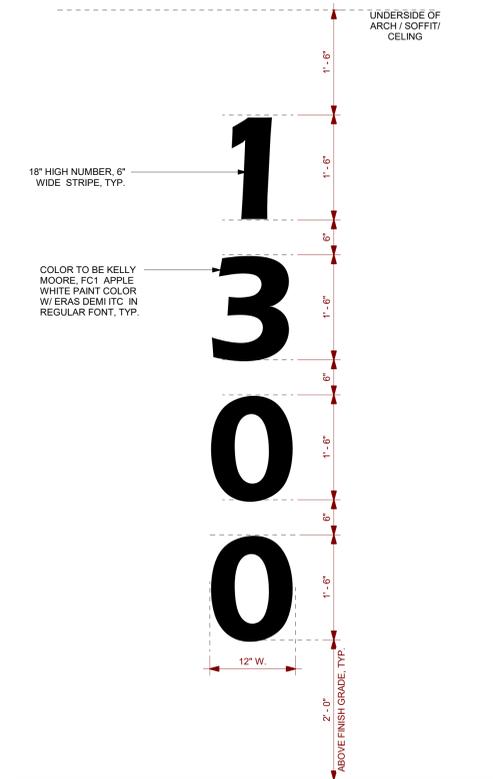
**5 DISTRICT LOGO**  
SCALE: NONE



**FALCON LOGO**

NOTE: ONLY APPLICABLE TO BE ON BUILDING 1700. SIZE TO BE PROPORTION WITH THE DEPTH OF THE HIGH ROOF. COORDINATE W/ DISTRICT PRIOR TO STENCILING & PAINTING.

**3 FALCON LOGO**  
SCALE: NONE



**BUILDING NUMBERING SIGN**

NOTE: FOR ALL BUILDINGS EXCEPT THE FOLLOWING BUILDING 400. BUILDING 2700 WILL VARY. COORDINATE WITH DISTRICT PRIOR TO PAINTING.

**1 TYPICAL BUILDING SIGNAGE NUMBER**  
SCALE: NONE



**BUILDING 500 FOR REFERENCE**

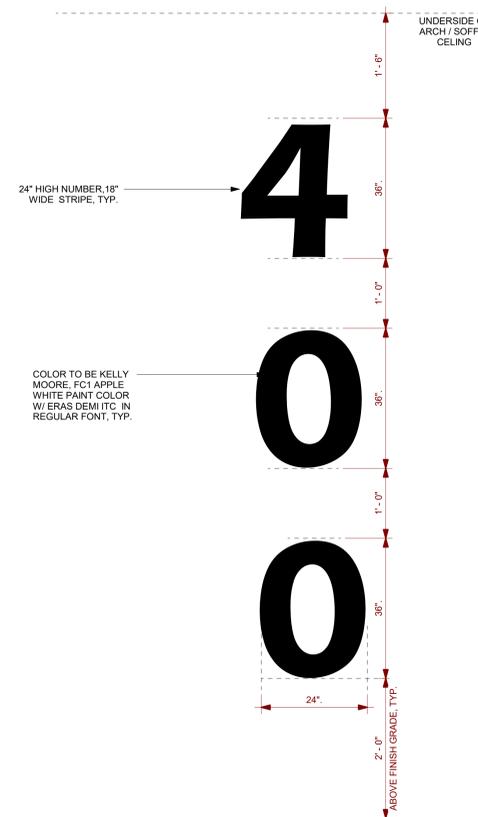
NOTE: WHERE ACCENT COLOR IS PAINTED, UNDERSIDE OF SOFFIT IS TO BE PAINTED THE SAME COLOR.



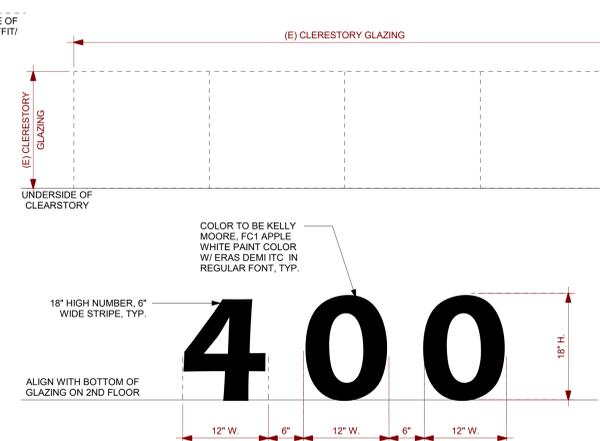
**BUILDING 1400 FOR REFERENCE**

NOTE: WHERE ACCENT COLOR IS PAINTED, UNDERSIDE OF SOFFIT IS TO BE PAINTED THE SAME COLOR.

**6 TYPICAL ACCENT PAINTINGS AT ENTRIES**  
SCALE: NONE



**BUILDING NUMBERING SIGN - NORTH FACING SIDE**



**BUILDING NUMBERING SIGN - SOUTH FACING SIDE**

NOTE: CENTER 400 NUMBERS IN SECOND BAY FROM THE RIGHT, SEE BUILDING IMAGE FOR REFERENCE

**4 BUILDING 400 - SIGNAGE NUMBER**  
SCALE: NONE